



TOWN OF APPLE VALLEY

TOWN COUNCIL STAFF REPORT

To: Honorable Mayor and Town Council **Date:** January 26, 2016

From: Pam Cupp, Associate Planner **Item No:** 10
Planning Department

Subject: A REQUEST TO CONSIDER AN AMENDMENT TO TITLE 9 "DEVELOPMENT CODE" OF THE TOWN OF APPLE VALLEY MUNICIPAL CODE BY MODIFYING CHAPTER 9.31 "RESIDENTIAL DESIGN STANDARDS" AS IT RELATES TO SINGLE FAMILY INFILL AND SUBDIVISION DEVELOPMENT

T.M. Approval: _____ **Budgeted Item:** Yes No N/A

RECOMMENDED ACTION:

Move to open the public hearing and take testimony. Close the public hearing. Then:

1. **Determine** that, pursuant to Section 15061(b)(3) of the State Guidelines to Implement the California Environmental Quality Act (CEQA), the project is exempt from environmental review because the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question, the proposed Code Amendment, may have a significant effect on the environment, the activity is not subject to CEQA.
2. **Find** the facts presented within the staff report support the required Findings for approval of an amendment to the Development Code, and adopt the Findings.
3. **Find** that the proposed Town Council Ordinance is consistent with the Goals and Objectives of the adopted Town of Apple Valley General Plan and that it is necessary to preserve the health, safety and general welfare of the citizens of Apple Valley.
4. **Move** to waive the reading of Ordinance No. 481 in its entirety and read by title only.

5. **Introduce** Ordinance No. 481, revising Title 9 "Development Code" of the Town of Apple Valley Municipal Code by modifying Chapter 9.31 "Residential Design Standards" as it relates to single family infill and subdivision development.
6. **Direct** staff to file a Notice of Exemption.

SUMMARY:

The proposed amendment will ensure consistent application of plotting and design criteria standards for all single family, infill development. Incorporating general design guidelines into the Development Code, together with an architectural checklist and point system, will provide the development community the design flexibility it desires while also providing staff a sound architectural review process. This amendment is a culmination of the recommendations of the Infill Development Ad Hoc committee as modified and recommended by the Planning Commission.

DISCUSSION:

On April 7, 2015, the Community Development Department hosted a workshop with developers and others to discuss single family residential infill development. Items discussed included design and landscaping standards. As a result of that workshop the Infill Development Ad Hoc committee was formed to closely examine the existing standards and discuss potential modifications to the Development Code. The committee held three (3) meetings to discuss the issues conveyed to staff by the development community.

The Ad Hoc Committee reviewed all existing guidelines and standards used by staff when performing its architectural and plotting plan review. It is the recommendation of the committee to incorporate design guidelines for single family infill and subdivisions by making Planning Commission Policy 2004-001 "Plotting and Design Criteria for Single Family Homes" part of the Development Code. While these criteria are required for tract development, the criteria are "encouraged" for single family infill development.

The Ad Hoc Committee has recommended that the level of architectural detail for infill development be based upon the size of the home and suggested the formulation of a checklist of architectural features to select from. Staff presented the committee with a checklist that is based upon a point system. Substantial architectural features count as one (1) point and minor features require a selection of at least five (5) items to achieve one (1) point. (See page 33 of this report) The required number of points would be based upon the square footage of the home. As a supplement to the checklist, it was further recommended that staff provide pictorial definitions for the architectural features listed. The draft checklist and pictorial definitions included within the attached Planning Commission report. The checklist and pictorial definitions will be reviewed and adopted by the Planning Commission after this proposal is adopted.

Development Code Amendment 2015-007 was reviewed as a public hearing at the December 2, 2015 Planning Commission meeting. Upon presentation of the staff report and subsequent Commission discussion, it was the consensus of the Commission to modify the Ad Hoc Committee's recommendation regarding the use of T1-11 by removing any reference specific to T1-11 and replacing it with "plywood products". They also requested that block walls within tract developments be allowed a molded cap instead of the currently required prefabricated block cap. A strike-thru/underline version of the proposed changes is attached within the Planning Commission staff report, and any modifications are outlined within the attached draft minutes excerpt.

FINDINGS:

Prior to the approval of any Amendment to the Development Code, the Council, based upon the advice of the Planning Commission, must make specific "Findings" as listed within the Code. Code Section 9.06.060 "Required Findings" of Chapter 9.06 Amendments to Zoning Provisions" specifies that two (2) Findings must be made in a positive manner to approve an Amendment. These Findings, along with a comment to address each, are presented below.

- A. The proposed amendment is consistent with the General Plan; and

Comment: The General Plan provides the basic framework for land development within the Town of Apple Valley, with the Development Code setting the specific standards and criteria to fulfill the General Plan's Goals and Policies. The proposed Code Amendment is consistent with the General Plan because it incorporates succinct design standards to ensure quality development of all single-family areas consistent with the Town's General Plan Policies and Programs.

- B. The proposed amendment will not be detrimental to the public health, safety or welfare of the Town or its residents.

Comment: Amending the Code as proposed under Development Code Amendment No. 2015-007 will create design guidelines specific to single family development. As required within the General Plan, the amendment will enumerate the Town's minimum design requirements that will encourage and enhance the quality of life. Thus, the amendment proposed shall result in a change to the Code that addresses the community's living environment while providing for the health, safety and general welfare of the citizens of the Town of Apple Valley.

NOTICING:

Development Code Amendment No. 2015-007 was advertised as a public hearing in the Apple Valley News newspaper on January 15, 2016.

ENVIRONMENTAL REVIEW:

Staff has determined that the project is not subject to the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the State Guidelines to Implement CEQA, which states that the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question, the proposed Code Amendment, may have a significant effect on the environment, the activity is not subject to CEQA.

FISCAL IMPACT:

Not Applicable.

Attachments:

1. Draft Ordinance No. 481
2. Planning Commission Draft Minutes for December 2, 2015
3. Planning Commission Staff Report including Architectural Checklist and Pictorial Definitions
4. Planning Commission Resolution No. 2015-012

ORDINANCE NO. 481

AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF APPLE VALLEY, CALIFORNIA, AMENDING TITLE 9 "DEVELOPMENT CODE" OF THE TOWN OF APPLE VALLEY MUNICIPAL CODE, BY MODIFYING CHAPTER 9.31 "RESIDENTIAL DESIGN STANDARDS" AS IT RELATES TO PLOTTING AND DESIGN CRITERIA FOR SINGLE FAMILY INFILL AND SUBDIVISION DEVELOPMENT.

WHEREAS, Title 9 "Development Code" of the Municipal Code of the Town of Apple Valley was adopted by the Town Council on April 27, 2010; and

WHEREAS, Title 9 (Development Code) of the Municipal Code of the Town of Apple Valley has been previously modified by the Town Council on the recommendation of the Planning Commission; and

WHEREAS, on April 7, 2015, the Community Development Department hosted a workshop with developers and others to hear concerns regarding single family infill development; and

WHEREAS, on June 9, 2015, the Town of Apple Valley Town Council formed an Ad Hoc Committee for Infill Residential Issues that met on three (3) occasions to discuss issues relating to single family infill development and provided recommendations for a Development Code Amendment; and

WHEREAS, Specific changes are necessary to Chapter 9.31 "Residential Design Standards" to achieve uniform application of design and plotting criteria for single family infill development; and

WHEREAS, The project is not subject to the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the State Guidelines to Implement CEQA, which states that the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question, the proposed Code Amendment, may have a significant effect on the environment, the activity is not subject to CEQA; and

WHEREAS, on December 2, 2015, the Planning Commission of the Town of Apple Valley conducted a duly noticed public hearing on Development Code Amendment No. 2015-007, receiving testimony from the public and adopting Planning Commission Resolution No. 2015-012 forwarding a recommendation to the Council; and

WHEREAS, on January 26, 2016, the Town Council of the Town of Apple Valley conducted a duly noticed and advertised public hearings on Development Code Amendment No. 2015-007, receiving testimony from the public.

NOW, THEREFORE, the Town Council of the Town of Apple Valley, State of California, does ordain as follows:

Section 1. Find that the changes proposed by Development Code Amendment No. 2015-007 is consistent with the Goals and Policies of the Town of Apple Valley adopted General Plan.

Section 2. Pursuant to Section 15061(b)(3) of the State Guidelines to Implement the California Environmental Quality Act (CEQA), it can be determined that the Code amendment is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty, as with the proposed Code Amendment, that there is no possibility that the proposal approved under Development Code Amendment No. 2015-007 will have a significant effect on the environment and, therefore, the Amendment is EXEMPT from further environmental review.

Section 3. Amend the Development Code Section 9.31.020 "Single Family Site Planning Design Standards" as follows:

"9.31.020 SINGLE FAMILY SITE PLANNING DESIGN STANDARDS

An important goal of single family site planning is to create functional and visual variety along local streets. It is the intent of these design standards to discourage subdivisions where identical homes march down long, uninterrupted straight streets, with no variation in building placement or the street scene.

- A. *Siting Structures and Lot Preparation.*** The following standards shall be used in evaluating the site and structure design of new single family and multi-family developments. Appropriate designs will:
- 1.** Protect natural slopes, contours, ridgelines and other elevations;
 - 2.** Preserve significant landscape features and patterns;
 - 3.** Take into account existing sites and structures and be sensitive to the preservation of established vistas and view corridors;
 - 4.** Utilize contour grading to blend into existing landforms, rather than severe cutting, filling, padding or terracing;
 - 5.** Avoid steep cuts and minimize soil import or export;
 - 6.** Avoid the creation of structures out of scale with their surroundings by not building up pads on artificial platforms to create or enhance views;
 - 7.** For infill and previously subdivided lots, minimize grading and site preparation to reduce erosion, soil exposure and minimize impacts on natural drainage courses. Except for activities required to extend access and infrastructure, and to provide for drainage, disturbance of a site shall be limited to thirty (30) feet surrounding the building pad;
 - 8.** Round and contour graded slopes to blend with the existing terrain. Native vegetation shall be retained and incorporated into the project wherever possible. Grading for building pads shall be sensitively designed to reduce disturbance and visual impacts. Split pad grading shall be utilized in place of excessive soil export/import to create a building pad.
 - 9.** Minimize the removal of native vegetation;
 - 10.** Separate and screen structures from each other to maximize privacy; and
 - 11.** Site single family dwellings on a lot to respond to and to respect property views, site features, existing topography, and any adjacent existing development. Dwelling units need not be sited parallel to the street if other orientations take better advantage of site features.

12. Through lots or reverse frontage lots should be avoided. Tracts of single-family dwellings should not back onto local road rights-of-way and should front onto these local roads.
- B. Infill in Existing Neighborhoods.** New single family development in existing neighborhoods shall be compatible with the adjacent residences.
1. **Infill Setbacks.** The setbacks of infill development shall be either:
 - a. Equal to the average setback of all residences on both sides of public rights-of-way within 200 feet of the property lines of the new development; or
 - b. Equal to the average of the two (2) immediately adjacent residences.
 2. **Roadway Improvements.** Roadway improvements on infill lots in existing neighborhoods shall match roadway improvements of the two adjacent lots.
- C. Driveway Entries/Garages.** Where ample room exists, circular driveway entries are preferred. Such driveways allow motorists to enter and exit the property in a forward motion. Garages may be detached and connected to the residence by a breezeway. In addition:
1. Garage doors shall be setback a minimum of twenty (20) feet to allow driveway parking clear of sidewalks and public rights-of-way.
 2. Angled garages are encouraged to improve the streetscape by breaking up the monotony of all garage doors being parallel to the street.
 3. Orientation of garage should be opposite of bedrooms on adjacent house when possible.
- D. Setbacks** The following setback requirements shall apply:
1. **Front Yard.** Placement of residences and garages close to or back from the street creates different patterns of visible open space. The structures themselves, when closer to the street, add to the diversity of the view. The minimum offset of front setbacks for adjacent properties shall be five (5) feet. When located on a curvilinear street, which provides a varied street scene, the minimum variation shall be three (3) feet. When one and two-story homes are adjacent, the two-story home shall have the larger front setback.
 2. **Side Yard.** Varying the distance between adjacent residences, or between residences and fences, results in different types of yards and private patio areas. Within subdivisions, side yard setbacks shall be varied from each side of the lot to create unique spaces and break up visual monotony from the street.
- E. Reverse Frontage Lots/Subdivision Walls**
1. All subdivision perimeter walls parallel to major or secondary streets rights-of-way shall be consistent with the design standards of subsection 9.31.030.C, Walls and Fences, of this Chapter. Subdivisions adjacent to local road rights-of-way should not have perimeter walls. Vinyl, wood and wrought iron is preferred if lots cannot be oriented toward the local road.
 2. Tract areas which back onto rights-of-way shall be landscaped as required by subsection 9.75.040.E, *Landscape Improvement Requirements*, of this Code.
 3. Residential tracts which back onto vacant areas that are not intended to be future local roads may be permitted to construct a wall around the perimeter of the tract adjacent to this vacant area.
 4. Provide bike paths and equestrian trails as required by the General Plan.
 5. Perpetual maintenance arrangements of these areas is subject to approval by the Town Engineer and the Director.
- F. Landscaping**
1. Xeriscape landscaping techniques shall be use in all front yards, street side yards and in all parkway areas in accordance with Chapter 9.75 “Water Conservation/Landscape Regulations”, of this Code.
 2. Within parkway and common areas, in accordance with Chapter 9.75, *Water Conservation/Landscaping Regulations*, of this Code, landscaping materials shall be drought resistant, native type plants, trees and groundcover.

G. Cul-De-Sac Treatments. Cul-de-sacs are recognized as an excellent opportunity to enhance the privacy and safety of residents, especially children. Cul-de-sac designs are strongly encouraged subject to the following :

1. Length shall not exceed 600 feet without secondary access.
2. To avoid confusion for emergency services personnel, cul-de-sac names shall not be derived from other nearby streets.
3. Cul-de-sacs on private streets shall include a landscape island in the center of the cul-de-sac.
4. Driveways shall be separated by a minimum planting strip of five (5) feet.

H. Planned Residential Developments

1. **Zero Lot Line Residences.** Zero lot line residences (residence is flush to a side lot line), as allowed in Planned Residential Developments, shall provide courts and patios that conventional lots may prevent. Also, an articulated street scene shall be provided (Figure 9.31.020-C)
2. **Attached Dwellings.** Attached dwellings can look like two or more separate structures or like one large custom home, depending on the articulation and treatment of the roof line and the facades. Attached dwellings shall be used to yield larger open space areas between structures (Figure 9.31.020-D).

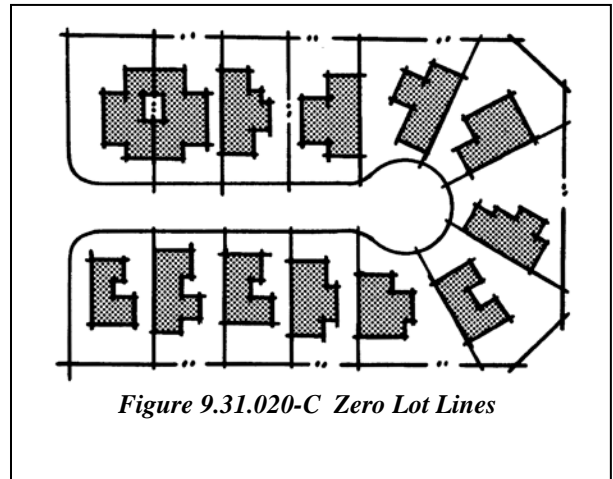


Figure 9.31.020-C Zero Lot Lines

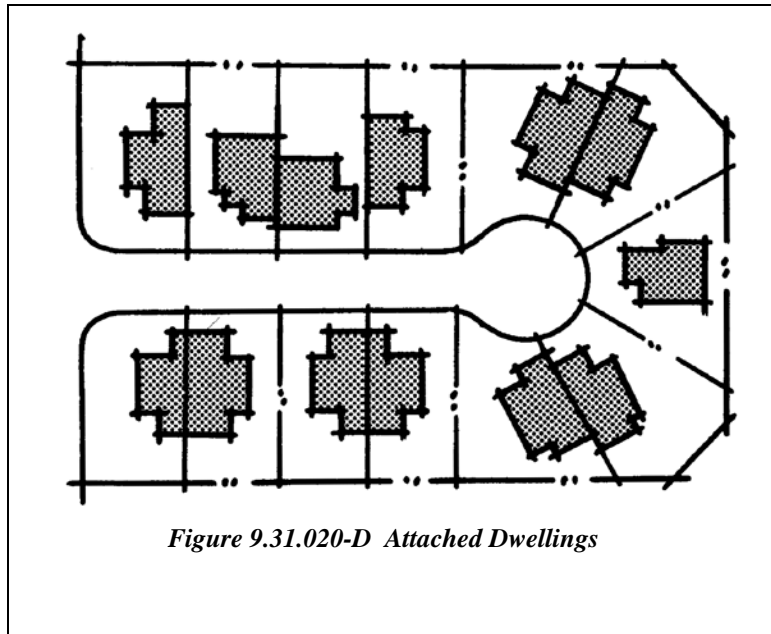


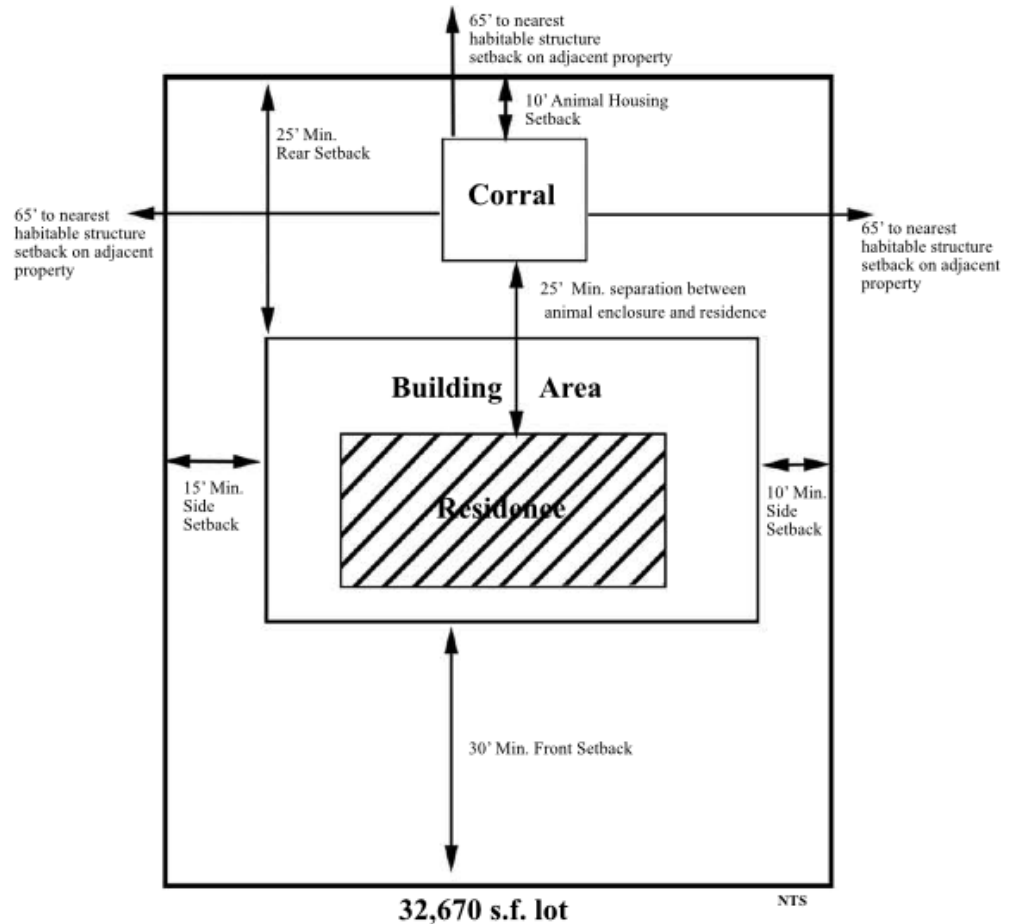
Figure 9.31.020-D Attached Dwellings

I. Residential Estate ¾ Site Planning for Equestrian

An important goal of site planning for equestrian purposes is to create functional and visually pleasing parameters that will serve to meet equestrian needs, discourage restrictions on equestrian accessory structures, and standardize permitted uses within equestrian districts. The following site planning standards are suggested for Residential Estate ¾ (equestrian) lots larger than 32,670 square feet.

1. Setbacks for Equestrian Accessory Structures. The following setbacks apply:

- a. Stables and Corrals.** Placement of equestrian accessory structures such as stables and corrals shall be consistent with Chapter 9.29.030 and should consider a minimum rear setback of ten (10) feet from the property line and be a minimum of sixty-five (65) feet from offsite habitable structures. Such buildings and roofed structures existing prior to the development of adjacent vacant property and closer than sixty-five (65) feet to new construction setbacks shall become a legal nonconforming use.



Section 4. Amend the Development Code Section 9.31.030 "Single Family Architectural Design Standards" as follows:

“9.31.030 SINGLE FAMILY ARCHITECTURAL DESIGN STANDARDS (AMENDED ORD. 313, 315, 343, 369, 430)

- A. Architectural Style.** While there is no particular architectural style required for single family residential structures, the focus shall be on the development of a high quality residential environment. In selecting an architectural style, compatibility with the desert environment should be considered. American Desert and Ranch architectural styles that blend with the natural desert environment are encouraged. Traditional American

Southwest, Spanish Revival, Pueblo, Mediterranean/Italianate or Craftsman architectural styles are also encouraged.

B. Environmental Design. Desert appropriate environmental design shall respond to the environmental conditions of the high desert by responding to sun, wind, heat and cold. Building and landscaping responses to the environmental conditions of the Town's desert climate which provide shelter and relief from sun and wind, such as broad overhangs, arbors and front porches, are strongly encouraged. Building designs which reduce the need for mechanical heating and cooling are also encouraged.

C. Architectural Diversity

1. Single Family In-fill Plotting Criteria

- a. If the same floor plan is used for adjacent homes, one shall be the reverse of the other, whenever possible, and have a different elevation.
- b. No two homes using the same floor plan, elevation and/or color scheme shall be constructed on any cul-de-sac bulb.
- c. No two adjacent homes using the same floor plan shall have the same exterior color scheme/treatment.

2. Single Family Subdivision Plotting Criteria. All residential subdivision development (except single-family residential homes built on individual lots or tracts conditioned for custom home development) shall require the review and approval of a Development Permit by the Planning Commission subject to the provisions of Chapter 9.17 "Development Permits" of this Code and the following:

- a. In order to achieve diversity and to promote the custom home style prevalent in Apple Valley, the number of floor plans and elevations enumerated in Table 9.31.030-A shall be offered in a subdivision:

Table 9.31.030-A Floor Plans/Elevations Required

Number of Units	Minimum Floor Plans Required	Minimum Elevations Required
Less than 40 units	three (3) plans	total of six (6) elevations
40 to 100 units	four (4) plans	total of twelve (12) elevations
More than 100 units	five (5) plans	total of fifteen (15) elevations

Note: Color scheme variations sensitive to the natural colors of the landscape shall be utilized.

- b. No more than twenty-five (25) percent of the homes on any block, including both sides of the street, shall have the same elevation.
- c. A floor plan shall not be used consecutively more than three times in a row (whether reversed or not).
- d. If the same floor plan is used for adjacent homes, one shall be the reverse of the other whenever possible, and have a different elevation.
- e. No more than 65% of any one floor plan shall be used on any cul-de-sac or along any street between intersecting streets.
- f. No two homes using the same floor, elevation and/or color scheme shall be constructed on any cul-de-sac bulb.
- g. No two adjacent homes using the same floor plan shall have the same exterior color scheme/treatment.

D. Building Materials.

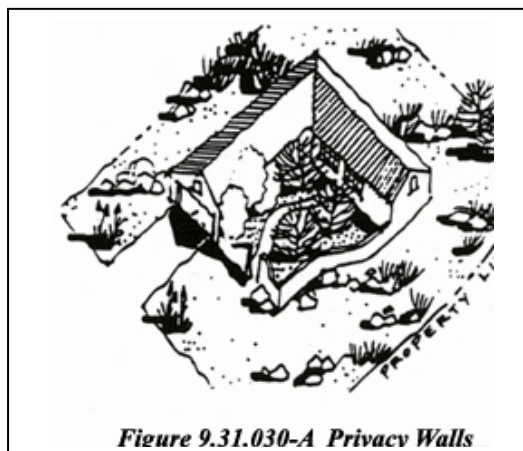
- 1. Metal or aluminum siding, reflective materials and finishes, and unfinished concrete block shall be avoided unless they are necessary as a part of an established or common architectural style upon review and approval of the Planning Commission on a case-by-case basis.
- 2. Stone, brick, masonry, stucco, adobe and smooth plasters are required when such architectural treatments are used upon the main structure on site.

3. The use of corrugated metal on any exterior is prohibited.
4. The use of plywood products on any exterior will require Director review and approval. Approval shall be based upon product quality and proven durability.
5. **Roofing Materials** Metal roofing materials simulating traditional “S” shaped or flat tile roofing material, simulating shake roofing material (if consistent with surrounding homes), and materials identified within the Planning Commission Metal Roof Policy Statement shall be permitted within all residential zoning districts. All other exposed metal material used for roofing may be reviewed and approved by the Planning Commission on a case-by-case basis as follows:
 - a. The Planning Commission shall determine that the proposed roofing material is consistent and compatible with and complimentary to the architectural and aesthetic character of the home upon which the roofing shall be placed, and consistent and compatible with and complimentary to the architectural and aesthetic character of the surrounding residential homes. Upon such determination, the Commission may approve said roofing material.
 - b. If, however, the Commission determines that the proposed roofing material is not consistent and compatible with and complimentary to the architectural and aesthetic character of the home upon which the roofing shall be placed, and consistent and compatible with and complimentary to the architectural and aesthetic character of the surrounding residential homes, the Commission shall not approve said roofing material.
 - c. Roofing material giving the appearance of a flat, seamless roof is expressly prohibited within all residential zones.

E. Building Articulation

1. Recessed windows and doors are encouraged to add articulation to the wall surface. Particular attention should be given to the shading of windows with southern and southwestern exposure.
2. A variety of heights, setbacks, roof shapes, trim, and sizes should be used to create visual complexity within a cohesive design.
3. Broad roof overhangs are recommended to produce interest and to respond to climatic conditions, especially when used in combination with courtyards, porch enclosures, balconies and recesses.
4. All street elevations shall be architecturally treated.

F. Front Privacy Walls/Recessed Entryways. Front privacy walls finished to match the residence are encouraged. Such privacy walls can be utilized to define private space and act as a border between the natural desert landscape and intense use areas. Recessed entryways and other shade and wind mitigating devices (arbors, patio covers, courtyards, porches) which shelter the user from the natural elements are also encouraged (Figure 9.31.030-A).



Single-Family In-fill Design Criteria. All in-fill development shall be architecturally designed to project an image of a custom home. The number of custom features shall be based upon architectural style and/or overall size of home, subject to the Planning Commission Design Criteria Policy. Architectural features may include, but not be limited to the following:

1. A variety of enhanced architectural features and materials shall be provided on every front and street side elevation. This can include, but is not limited to, porches, bay windows, pop-outs, veneers, rock, brick, wood siding, etc., or such other features.
2. All garage doors shall be sectional or roll-up. Glass window accents and/or custom designs are encouraged.
3. Trim, including that with a stucco covering, is encouraged to be painted in a contrasting color. The contrasting color shall be compatible with the structure's primary color.
4. Homes with a trim (band) feature, which distinguishes the first and second floors, should have the band on the front and rear elevation of the homes. The band will only be required on the side elevation, on corner lots where the elevation is visible from the street.
5. Two-story homes with a second story elevation facing a public right-of-way shall be provided with design features which could include pot shelves, shutters, wood siding under roof peaks, color contrasting paint under roof peaks and/or windows, etc./ or such other features.
6. Architectural treatment to chimneystacks is encouraged.
7. A wall-mounted lighting fixture shall be provided at the front porch area, as well as one on each side of the garage door(s) for a maximum total of three lighting fixtures are required. Decorative fixtures are encouraged.
8. Front entry doors with windows and/or decorative treatments are desirable.
9. Architectural treatments shall wrap around to the interior side or rear elevation a minimum of three (3) feet. Treatments to each elevation are encouraged.
10. Builders are encouraged to incorporate a custom, recognizable design feature into their stock plans.

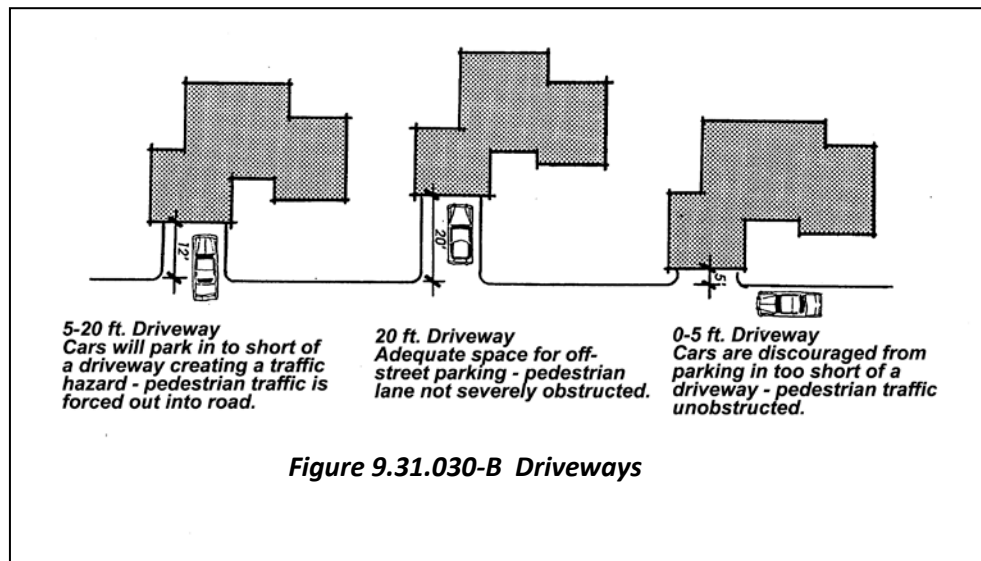
G. Single-Family Subdivision Development Design Criteria. All residential tract development (except single-family residential homes built on individual lots or tracts conditioned for custom home development) shall require the review and approval of a Development Permit by the Planning Commission subject to the provisions of Chapter 9.17 "Development Permits" of this Code and the following:

1. A variety of enhanced architectural features and materials shall be provided on every front elevation. This can include, but is not limited to, porches, bay windows, pop-outs, veneers, rock, brick, wood siding, etc., or such other features approved by the Planning Commission.
2. At least two out of every three models shall provide general architectural relief at the rear elevation of each home in order to avoid one continuous wall or flat surface on the rear of the home. Fireplaces, rear yard trellises, and media niches may be considered in this requirement.
3. A variety of designs shall be used on garage doors, with no two adjoining homes that have the same floor plan and elevation using the same garage door pattern. In no case shall more than three homes of any floor plan or elevation have the same garage door pattern in a row. At least two out of three shall be provided with garage door windows in a variety of designs.
4. All garage doors shall be sectional and roll-up. The applicant shall provide a color board indicating proposed garage door colors for Planning Commission approval.
5. Trim with a stucco covering may be painted in a contrasting color. The contrasting color shall be color compatible with the structure's primary color.
6. Homes with a trim (band) feature, which distinguishes the first and second floors, should have the band on the front and rear elevation of the homes. The band will only be required on the side elevation, on corner lots where the elevation is visible from the street.
7. Two-story homes with a second story elevation facing a public right-of-way shall be provided with design features which could include pot shelves, shutters, wood siding under roof peaks, color contrasting paint under roof peaks and/or windows, etc./ or such other features approved by the Planning Commission.

8. The Director, or designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, façade treatments, and architectural reliefs. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.
9. Architectural treatment shall be provided on each chimneystack.
10. When used, mullions shall be provided on first, second and third-story windows, as approved by the Planning Commission. The mullions shall be provided in a variety of shapes.
11. A wall-mounted decorative lighting fixture shall be provided at the front porch area, as well as one on each side of the garage door(s) for a maximum total of three lighting fixtures.
12. All front entry doors shall provide either a window or the decorative treatment approved by the Commission under the Development Permit.
13. The electric and/or gas meter adjacent to and serving each home shall be screened from view from any public right-of-way by shrubs or other landscaping approved by Planning Division. All above ground utility boxes or pedestals located within the front or side yard setback area(s), or within the public right-of-way adjacent to such setback area(s), shall be camouflaged with shrubs or other landscaping approved by Planning Division.
14. All block walls shall be capped or finished with a molded top.

H. Additional Architectural Standards for Attached Units. In addition to the architectural design standards for single family dwellings, the following design standards shall apply to attached single family dwellings:

1. Single family attached dwellings shall be architecturally articulated to project an image of customized homes. Preferred configurations include architectural treatment either as a large custom single family unit or as individually articulated dwellings such as traditional rowhouses.
2. Adjacent driveways shall be separated by a planting strip.
3. Dwellings with driveways less than twenty (20) feet in length shall be provided with automatic garage door openers to prevent cars parked in the driveways from obstructing pedestrian movement on sidewalks (Figure 9.31.030-B).



I. Accessory Features

1. **Accessory Structures.** The design of accessory structures (greater than 120 square feet) including second units, garages, guesthouses, cabanas and storage buildings shall be architecturally compatible with the

primary structure through the use of compatible building materials, walls/roofs/trellises, fence/wall connections and/or landscaping.

2. Mechanical Equipment

- a.* Any equipment, whether on the roof, side of the structure or ground, shall be screened from public view from adjacent property or from a public right-of-way.
- b.* In new development, the method of screening shall be integrated into the architectural design of the building and/or landscaping.
- c.* In existing development which is modified pursuant to Chapter 9.07 "Nonconforming Uses and Structures" of this Code, the method of screening shall be architecturally compatible with the structure on which it occurs in terms of materials, color, shape and size.

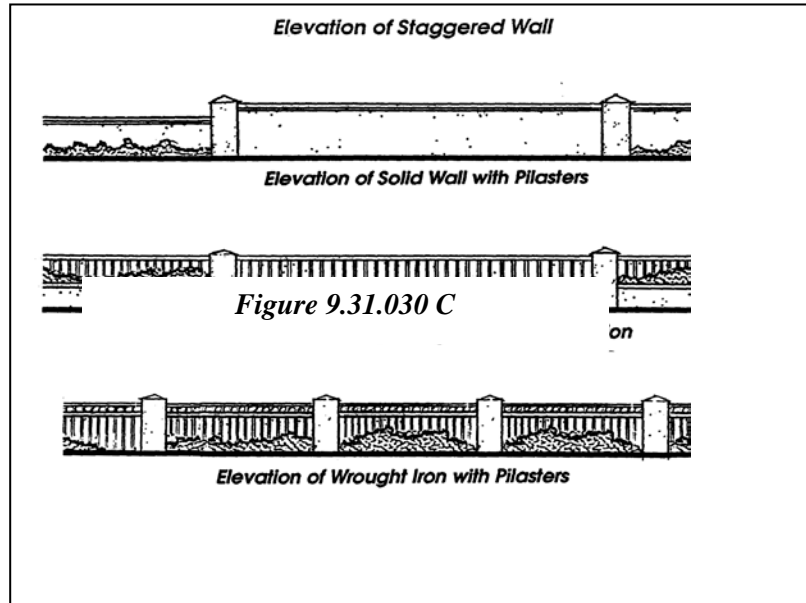
3. Vents, Gutters and Downspouts. Roof flashing, rain gutters, downspouts, vents, renewable energy conduit, and other roof protrusions shall be finished to match, or complement, the roof or facade materials and/or colors which provide the background.

4. Attached and Detached Accessory Structures. Construction of any permanent or semi-permanent attached or detached accessory structure shall conform to the standards and criteria as detailed within Chapter 9.29 "Special Use Regulations for Residential Districts" of this Code.

J. Walls and Fences. Fencing requirements shall remain flexible, but installations should take advantage of the natural features of the site like topography and vegetation.

- 1.* Closed privacy fencing should be limited to the immediate area around the home or outbuildings. Vinyl or wooden fencing shall be designed to withstand the frequent high desert winds. Grape stake or three (3)-inch slats are not permitted.
- 2.* Large courtyards created by extending building walls with architectural walls similar to building walls providing private outdoor open space are strongly encouraged.
- 3.* Property line walls and fences adjacent to streets shall be constructed of decorative materials such as vinyl or wood rail fencing, split face block or slumpstone. Such fencing shall incorporate appropriate decorative enhancements such as caps or pilasters. Chain link fencing in the front yard and abutting a street side yard of a corner lot are prohibited in the Residential Single-Family (R-SF) and Residential Equestrian (R-EQ) Zoning Districts, where the residence is constructed after June 7, 2007. Within the Very Low Density Residential (R-VLD), Residential Agriculture (R-A), Low Density Residential (R-LD), Estate Residential (R-E), Estate Residential $\frac{3}{4}$ (R-E $\frac{3}{4}$), Residential Equestrian (R-EQ) and Residential Single-Family (R-SF) Zoning Districts, perimeter walls for new subdivisions on local streets in existing neighborhoods are prohibited where the wall would be located opposite front yards.

4. **Subdivision Walls.** Subdivision walls shall be articulated by regularly spaced pilasters or landscape insets, decorative caps and landscaping. Pilasters or insets shall be spaced a maximum of forty (40) feet on center (Figure 9.31.030-C).



Section 4. Notice of Adoption. The Town Clerk of the Town of Apple Valley shall certify to the adoption of this ordinance and cause publication to occur in a newspaper of general circulation and published and circulated in the Town in a manner permitted under Section 36933 of the Government Code of the State of California.

Section 5. Effective Date. This Ordinance shall become effective thirty (30) days after the date of its adoption.

Section 6. Severability. If any provision of this Ordinance, or the application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications and, to this end, the provisions of this Ordinance are declared to be severable.

Adopted by the Town Council and signed by the Mayor and attested to by the Town Clerk this 9th day of February, 2016.

Honorable Barb Stanton, Mayor

ATTEST:

Ms. La Vonda M. Pearson, Town Clerk

Approved as to form:

Mr. John Brown, Town Attorney

Approved as to content:

Mr. Frank Robinson, Town Manager

**DRAFTMINUTES
EXCERPT
TOWN OF APPLE VALLEY
PLANNING COMMISSION
Regular Meeting**

WEDNESDAY, DECEMBER 2, 2015

CALL TO ORDER

At 6:05 p.m., the Regular Meeting of the Planning Commission of the Town of Apple Valley for December 2, 2015, was called to order by Chairman Kallen.

ROLL CALL

Planning Commission - Roll call was taken with the following members present: Commissioner Jason Lamoreaux, Commissioner Mark Shoup, Commissioner B.R. "Bob" Tinsley, Vice-Chairman Doug Qualls and Chairman Bruce Kallen. Absent: None.

STAFF PRESENT

Lori Lamson, Assistant Town Manager; Carol Miller, Principal Planner; Pam Cupp, Associate Planner; Haviva Shane, Town Attorney and Yvonne Rivera, Planning Commission Secretary.

PUBLIC HEARING ITEMS

2. **Development Code Amendment No. 2015-007.** An amendment to Title 9 "Development Code" of the Town of Apple Valley Municipal Code by amending Section 9.31.020 "Single Family Site Planning Design Standards" and Section 9.31.030 "Single Family Architectural Design Standards." The proposal will add plotting and design criteria specific to single family infill development. Additionally, this amendment will add to the Development Code the provisions adopted through Planning Commission Policy No. 2004-001 "Plotting and Design Criteria for Single Family Homes."
Applicant: Town of Apple Valley
Location: Town-wide

Chairman Kallen opened the public hearing at 6:08 p.m.

Ms. Pam Cupp, Associate Planner, presented the report as filed by the Planning Division.

Ms. Cupp would like to make the following modification to the resolution as shown on page 2-53, item G3 read:

"It is encouraged that trim, including that with a stucco covering, be painted in a contrasting color. The contrasting color shall be compatible with the structure's primary color."

Discussion ensued regarding the Design Criteria Checklist outlined on Page 2-14. Ms. Cupp explained that the checklist would be brought back to the Commission for review as a Planning Commission Policy.

Commissioner Tinsley had concern regarding specifically identifying T1-11 as a product of concern. Discussion ensued regarding the use and durability of T1-11. It was the consensus of the Commission to modify the Resolution as shown on page 2-52, item D4 to read:

"The use of plywood products on any exterior will require Director review and approval. Approval shall be based upon product quality and proven durability."

Commissioner Tinsley had concern regarding the requirement for a prefabricated block cap for block walls within subdivision. It was the consensus of the Commission to amend the Resolution as shown on page 2-54, item H14 to read:

"All block walls shall be capped with prefabricated block cap or molded top. Stucco walls must have a molded top."

PUBLIC COMMENT

None.

Chairman Kallen closed the public hearing at 6:45 p.m.

Chairman Kallen thanked staff for creating the Design Criteria Checklist, which he believed would be helpful to builders.

Commissioner Shoup also thanked staff and the Infill Ad Hoc Committee for their work.

MOTION

Motion by Vice-Chairman Qualls, seconded by Commissioner Tinsley that the Planning Commission move to:

1. Approve Planning Commission Resolution No. 2015-012, forwarding a recommendation that the Town Council amend Title 9 "Development Code" of the Town of Apple Valley Municipal Code, as amended.

ROLL CALL VOTE

Ayes: Commissioner Lamoreaux
Commissioner Shoup
Commissioner Tinsley
Vice-Chairman Qualls
Chairman Kallen

Noes: None

Abstain: None

Absent: None

The motion carried by a 5-0-0-0 vote.



Get a Slice of the Apple.

Agenda Item No. 2

TOWN OF APPLE VALLEY PLANNING COMMISSION

Staff Report

- AGENDA DATE:** December 2, 2015
- CASE NUMBER:** Development Code Amendment No. 2015-007
- APPLICANT:** Town of Apple Valley
- PROPOSAL:** An amendment to Title 9 "Development Code" of the Town of Apple Valley Municipal Code by amending Section 9.31.020 "Single Family Site Planning Design Standards" and Section 9.31.030 "Single Family Architectural Design Standards." The proposal will add plotting and design criteria specific to single family infill development. Additionally, this amendment will add to the Development Code the provisions adopted through Planning Commission Policy No. 2004-001 "Plotting and Design Criteria for Single Family Homes.
- LOCATION:** Town-wide
- ENVIRONMENTAL DETERMINATION:** Staff has determined that the project is not subject to the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the State Guidelines to Implement CEQA, which states that the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question, the proposed Code Amendment, may have a significant effect on the environment, the activity is not subject to CEQA.
- CASE PLANNER:** Ms. Pam Cupp, Associate Planner
- RECOMMENDATION:** Adopt Planning Commission Resolution No. 2015-012

BACKGROUND

On April 7, 2015, the Community Development Department hosted a workshop with developers and others to discuss single family residential in-fill development. Items discussed included

design and landscaping standards. As a result of that workshop the Infill Development Ad Hoc committee was formed, including two (2) Town Council Members and two (2) Planning Commissioners, to review existing conditions and provide recommendations for improvement. This amendment will modify the Development Code by incorporating plotting and design standards, specific to single family infill development as recommended by the ad hoc committee. The amendment will also codify the standards previously adopted under Planning Commission Policy No. 2004-001 "Plotting and Design Criteria for Single Family Homes.

DISCUSSION

The Development Code does not specifically identify plotting criteria or preferred architectural treatments for single family infill development. In March of 2004, the Planning Commission adopted an architectural policy statement directed towards tract development. Because it is staff's position that in-fill developers should be held to the same architectural standards as tract developers, staff has been applying the plotting and architectural criteria similar to those outlined within the Policy to single family infill developments.

Some of the policy criteria used to architecturally evaluate an infill project includes the following:

Plotting

- If the same floor plan is used for adjacent homes, one shall be the reverse of the other and have a different elevation.
- No two adjacent homes using the same floor plan, elevation and/or color scheme shall be constructed on any cul-de-sac or along any street between intersecting streets.
- No two adjacent homes using the same floor plan shall have the same exterior color scheme/treatment.

Design

Many of the infill builders have attempted to submit for plan review homes that lack any architectural characteristics. In an effort to enhance the architectural quality of infill homes, staff required that single family homes have a minimum of five (5) architectural details upon the front and street side elevations. These details may include, but are not limited to the following:

- Varying wall planes.
- Varying roof heights/angles.
- Two primary materials.
- Contrasting colors.
- Decorative garage doors.
- Front porches/recessed entryways.
- The use of columns.
- Shutters.
- Decorative windows.

- Architecturally enhanced eaves.
- Pop-out bands/decorative trim.
- Corner lots require front and street side architectural features.

During the initial workshop, many of the infill developers expressed concern that the level of architectural detail was not consistently applied. It is essential for those individual seeking such review that the Town provide sound, appropriate and consistent standards and criteria relating to the review and approval of the architectural appearance of new single family homes. The Infill Ad Hoc committee was presented Development Code language and the criteria used to architecturally evaluate infill development. It is the recommendation of the committee that detailed design and plotting criteria should be incorporated into the Development Code.

The committee has provided a recommendation that the level of architectural detail for infill development be based upon the size of the home and suggested that developers be provided a list of architectural features to select from. Staff presented the committee with a checklist that is based upon a point system. Substantial architectural features count as one (1) point and minor features require a selection of at least five (5) items to achieve one (1) point. The required number of points would be based upon the square footage of the home. As a supplement to the checklist, it was further recommended that staff provide pictorial definitions for the architectural features listed.

The draft checklist and pictorial definitions are attached for Commission review. Upon final adoption of this Amendment, staff will return the design checklist to the Planning Commission for final review and approval via Planning Commission Policy.

The following is a strike-thru/bold underline version of the proposed changed to Development Code Chapter 9.31 "Residential Design Standards" based upon the Infill Development Ad Hoc Committee recommendations. Clarifying language has also been incorporated to simplify implementation.

CHAPTER 9.31 RESIDENTIAL DESIGN STANDARDS

9.31.020 SINGLE FAMILY SITE PLANNING DESIGN STANDARDS *(AMENDED ORD. 272, 326, 343)*

An important goal of single family site planning is to create functional and visual variety along local streets. It is the intent of these design standards to discourage subdivisions where identical homes march down long, uninterrupted straight streets, with no variation in building placement or the street scene.

- A. *Siting Structures and Lot Preparation.*** The following standards shall be used in evaluating the site and structure design of new single family and multi-family developments. Appropriate designs will:
1. Protect natural slopes, contours, ridgelines and other elevations;
 2. Preserve significant landscape features and patterns;
 3. Take into account existing sites and structures and be sensitive to the preservation of established vistas and view corridors;
 4. Utilize contour grading to blend into existing landforms, rather than severe cutting, filling, padding or terracing;
 5. Avoid steep cuts and minimize soil import or export;
 6. Avoid the creation of structures out of scale with their surroundings by not building up pads on artificial platforms to create or enhance views;

7. For infill and previously subdivided lots, minimize grading and site preparation to reduce erosion, soil exposure and minimize impacts on natural drainage courses. Except for activities required to extend access and infrastructure, and to provide for drainage, disturbance of a site shall be limited to thirty (30) feet surrounding the building pad;
 8. Round and contour graded slopes to blend with the existing terrain. Native vegetation shall be retained and incorporated into the project wherever possible. Grading for building pads shall be sensitively designed to reduce disturbance and visual impacts. Split pad grading shall be utilized in place of excessive soil export/import to create a building pad.
 9. Minimize the removal of native vegetation;
 10. Separate and screen structures from each other to maximize privacy; and
 11. Site single family dwellings on a lot to respond to and to respect property views, site features, existing topography, and any adjacent existing development. Dwelling units need not be sited parallel to the street if other orientations take better advantage of site features.
 12. Through lots or reverse frontage lots should be avoided. Tracts of single-family dwellings should not back onto local road rights-of-way and should front onto these local roads.
- B. Infill in Existing Neighborhoods.** New single family development in existing neighborhoods shall be compatible with the adjacent residences.
1. **Infill Setbacks.** The setbacks of infill development shall be either:
 - a. Equal to the average setback of all residences on both sides of public rights-of-way within 200 feet of the property lines of the new development; or
 - b. Equal to the average of the two (2) immediately adjacent residences.
 2. **Roadway Improvements.** Roadway improvements on infill lots in existing neighborhoods shall match roadway improvements of the two adjacent lots.
- C. Driveway Entries/Garages.** Where ample room exists, circular driveway entries are preferred. Such driveways allow motorists to enter and exit the property in a forward motion. Garages may be detached and connected to the residence by a breezeway. In addition:
1. Garage doors shall be setback a minimum of twenty (20) feet to allow driveway parking clear of sidewalks and public rights-of-way.
 2. Angled garages are encouraged to improve the streetscape by breaking up the monotony of all garage doors being parallel to the street.
 3. **Orientation of garage should be opposite of bedrooms on adjacent house when possible.**
- D. Setbacks** The following setback requirements shall apply:
1. **Front Yard.** Placement of residences and garages close to or back from the street creates different patterns of visible open space. The structures themselves, when closer to the street, add to the diversity of the view. The minimum offset of front setbacks for adjacent properties shall be five (5) feet. **When located on a curvilinear street, which provides a varied street scene, the minimum variation shall be three (3) feet. When one and two-story homes are adjacent, the two-story home shall have the larger front setback.**
 2. **Side Yard.** Varying the distance between adjacent residences, or between residences and fences, results in different types of yards and private patio areas. Within subdivisions, side yard setbacks shall be varied from each side of the lot to create unique spaces and break up visual monotony from the street.
- E. Reverse Frontage Lots/Subdivision Walls**
1. All subdivision perimeter walls parallel to major or secondary streets rights-of-way shall be consistent with the design standards of subsection 9.31.030.C, Walls and Fences, of this Chapter. Subdivisions adjacent to local road rights-of-way should not have perimeter walls. Vinyl, wood and wrought iron is preferred if lots cannot be oriented toward the local road.
 2. Tract areas which back onto rights-of-way shall be landscaped as required by subsection 9.75.040.E, *Landscape Improvement Requirements*, of this Code.

3. Residential tracts which back onto vacant areas that are not intended to be future local roads may be permitted to construct a wall around the perimeter of the tract adjacent to this vacant area.
4. Provide bike paths and equestrian trails as required by the General Plan.
5. Perpetual maintenance arrangements of these areas is subject to approval by the Town Engineer and the Director.

F. Landscaping

1. Xeriscape landscaping techniques shall be use in all front yards, street side yards and in all parkway areas in accordance with Chapter 9.75 “Water Conservation/Landscape Regulations”, of this Code.
2. Within parkway and common areas, in accordance with Chapter 9.75, *Water Conservation/Landscaping Regulations*, of this Code, landscaping materials shall be drought resistant, native type plants, trees and groundcover.

G. Cul-De-Sac Treatments. Cul-de-sacs are recognized as an excellent opportunity to enhance the privacy and safety of residents, especially children. Cul-de-sac designs are strongly encouraged subject to the following :

1. Length shall not exceed 600 feet without secondary access.
2. To avoid confusion for emergency services personnel, cul-de-sac names shall not be derived from other nearby streets.
3. Cul-de-sacs on private streets shall include a landscape island in the center of the cul-de-sac.
4. Driveways shall be separated by a minimum planting strip of five (5) feet.

H. Planned Residential Developments

1. **Zero Lot Line Residences.** Zero lot line residences (residence is flush to a side lot line), as allowed in Planned Residential Developments, shall provide courts and patios that conventional lots may prevent. Also, an articulated street scene shall be provided (Figure 9.31.020-C)
2. **Attached Dwellings.** Attached dwellings can look like two or more separate structures or like one large custom home, depending on the articulation and treatment of the roof line and the facades. Attached dwellings shall be used to yield larger open space areas between structures (Figure 9.31.020-D).

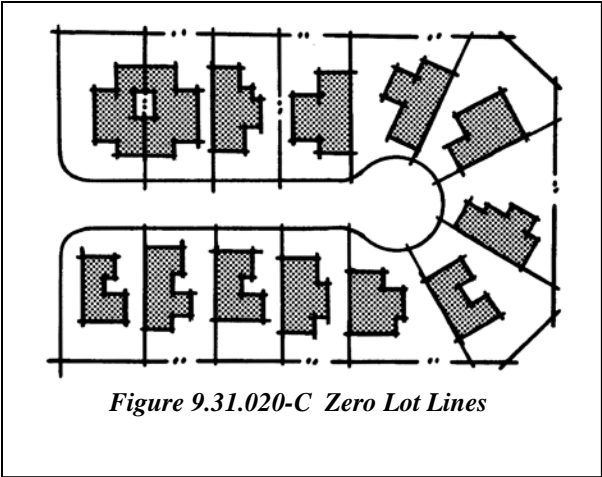


Figure 9.31.020-C Zero Lot Lines

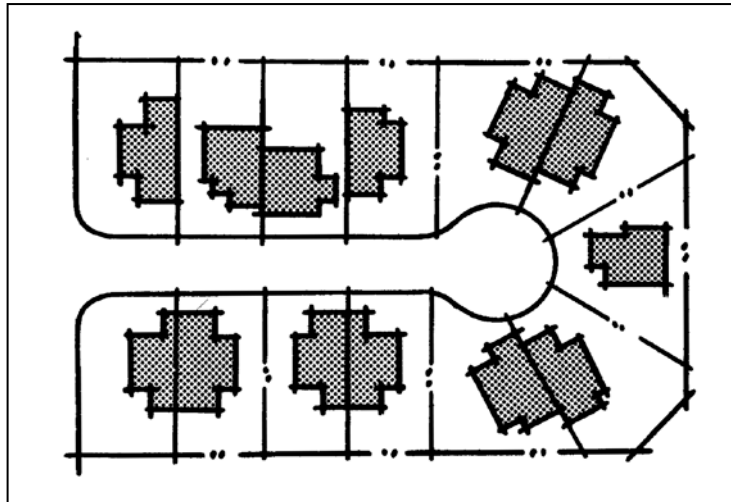


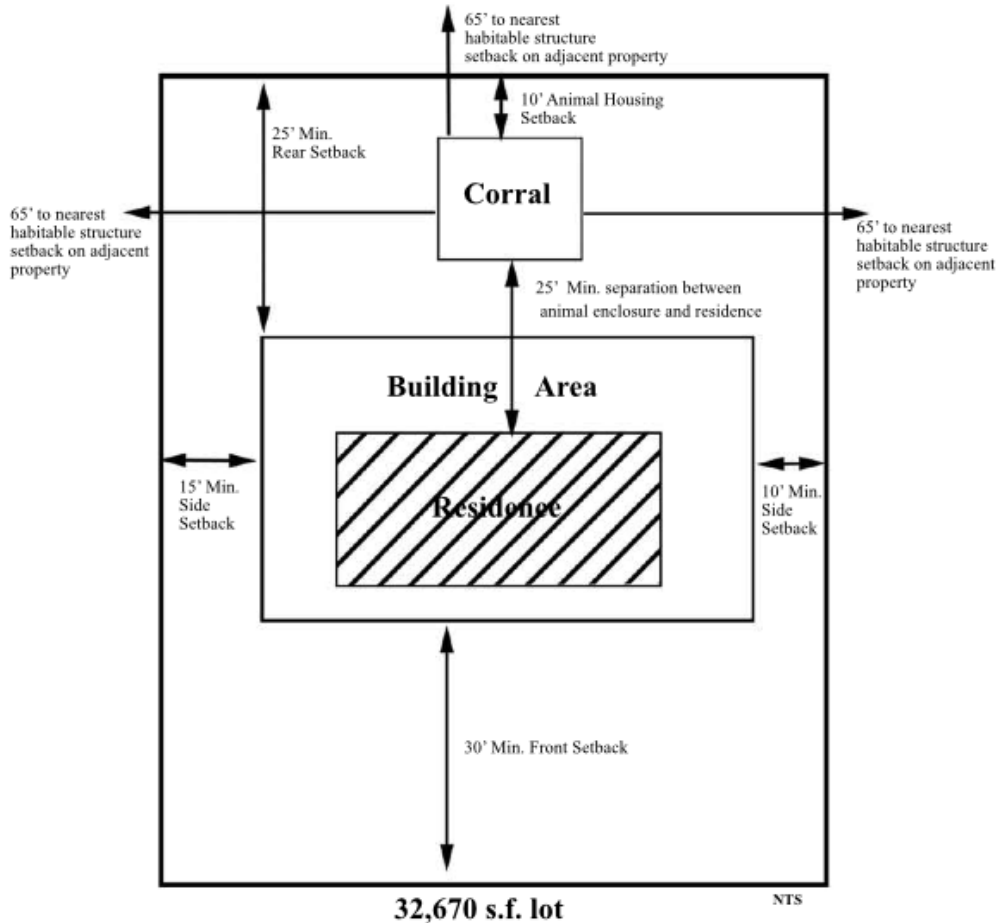
Figure 9.31.020-D Attached Dwellings

I. Residential Estate ¾ Site Planning for Equestrian

An important goal of site planning for equestrian purposes is to create functional and visually pleasing parameters that will serve to meet equestrian needs, discourage restrictions on equestrian accessory structures, and standardize permitted uses within equestrian districts. The following site planning standards are suggested for Residential Estate ¾ (equestrian) lots larger than 32,670 square feet.

1. Setbacks for Equestrian Accessory Structures. The following setbacks apply:

- a. Stables and Corrals.*** Placement of equestrian accessory structures such as stables and corrals shall be consistent with Chapter 9.29.030 and should consider a minimum rear setback of ten (10) feet from the property line and be a minimum of sixty-five (65) feet from offsite habitable structures. Such buildings and roofed structures existing prior to the development of adjacent vacant property and closer than sixty-five (65) feet to new construction setbacks shall become a legal nonconforming use.



9.31.030 SINGLE FAMILY ARCHITECTURAL DESIGN STANDARDS (AMENDED ORD. 313, 315, 343, 369, 430)

- K. Architectural Style.** While there is no particular architectural style required for single family residential structures, the focus shall be on the development of a high quality residential environment. In selecting an architectural style, compatibility with the desert environment should be considered. ~~Desert appropriate~~ **American Desert and Ranch** architectural styles ~~that used to blend with the dwelling unit into~~ the natural desert environment are encouraged. Traditional American ~~Southwest, desert~~ **Spanish Revival, Pueblo, Mediterranean/Italianate or Craftsman** architectural styles ~~such as~~ are also encouraged.
- L. Environmental Design.** Desert appropriate environmental design shall respond to the environmental conditions of the high desert by responding to sun, wind, heat and cold. Building and landscaping responses to the environmental conditions of the Town's desert climate which provide shelter and relief from sun and wind, such as broad overhangs, ~~entry treatments and arbors~~ **and front porches**, are strongly encouraged. Building designs which **reduce** ~~minimize~~ the need for mechanical heating and cooling are also encouraged.
- M. Architectural Diversity**
- 3. Single Family In-fill Plotting Criteria**
- If the same floor plan is used for adjacent homes, one shall be the reverse of the other, whenever possible, and have a different elevation.**
 - No two homes using the same floor plan, elevation and/or color scheme shall be constructed on any cul-de-sac bulb.**
 - No two adjacent homes using the same floor plan shall have the same exterior color scheme/treatment.**

4. **Single Family Subdivision Plotting Criteria. All residential subdivision development (except single-family residential homes built on individual lots or tracts conditioned for custom home development) shall require the review and approval of a Development Permit by the Planning Commission subject to the provisions of Chapter 9.17 “Development Permits” of this Code and the following:**

a. In order to achieve diversity and to promote the custom home style prevalent in Apple Valley, the number of floor plans and elevations enumerated in Table 9.31.030-A shall be offered in a subdivision:

Table 9.31.030-A Floor Plans/Elevations Required

Number of Units	Minimum Floor Plans Required	Minimum Elevations Required
Less than 40 units	three (3) plans	total of six (6) elevations
40 to 100 units	four (4) plans	total of twelve (12) elevations
More than 100 units	five (5) plans	total of fifteen (15) elevations

Note: Color scheme variations sensitive to the natural colors of the landscape shall be utilized.

- b. No more than twenty-five (25) percent of the homes on any block, including both sides of the street, shall have the same elevation.
- c. **A floor plan shall not be used consecutively more than three times in a row (whether reversed or not).**
- d. **If the same floor plan is used for adjacent homes, one shall be the reverse of the other whenever possible, and have a different elevation.**
- e. **No more than 65% of any one floor plan shall be used on any cul-de-sac or along any street between intersecting streets.**
- f. **No two homes using the same floor, elevation and/or color scheme shall be constructed on any cul-de-sac bulb.**
- g. **No two adjacent homes using the same floor plan shall have the same exterior color scheme/treatment.**

N. Building Materials.

- 6. Metal or aluminum siding, reflective materials and finishes, and unfinished concrete block shall be avoided unless they are necessary as a part of an established or common architectural style upon review and approval of the Planning Commission on a case-by-case basis.
- 7. Stone, brick, masonry, stucco, adobe and smooth plasters are required when such architectural treatments are used upon the main structure on site.
- 8. **The use of corrugated metal on any exterior is prohibited.**
- 9. **The use of wooden T1-11 on any exterior will require Director review and approval. Approval shall be based upon product quality and proven durability.**
- 10. **Roofing Materials** Metal roofing materials simulating traditional “S” shaped or flat tile roofing material, simulating shake roofing material (if consistent with surrounding homes), and materials identified within the Planning Commission Metal Roof Policy Statement shall be permitted within all residential zoning districts. All other exposed metal material used for roofing may be reviewed and approved by the Planning Commission on a case-by-case basis as follows:
 - d. The Planning Commission shall determine that the proposed roofing material is consistent and compatible with and complimentary to the architectural and aesthetic character of the home upon which the roofing shall be placed, and consistent and compatible with and complimentary to the architectural and aesthetic character of the surrounding residential homes. Upon such determination, the Commission may approve said roofing material.
 - e. If, however, the Commission determines that the proposed roofing material is not consistent and compatible with and complimentary to the architectural and aesthetic character of the home upon which the roofing shall be placed, and consistent and compatible with and complimentary to the architectural

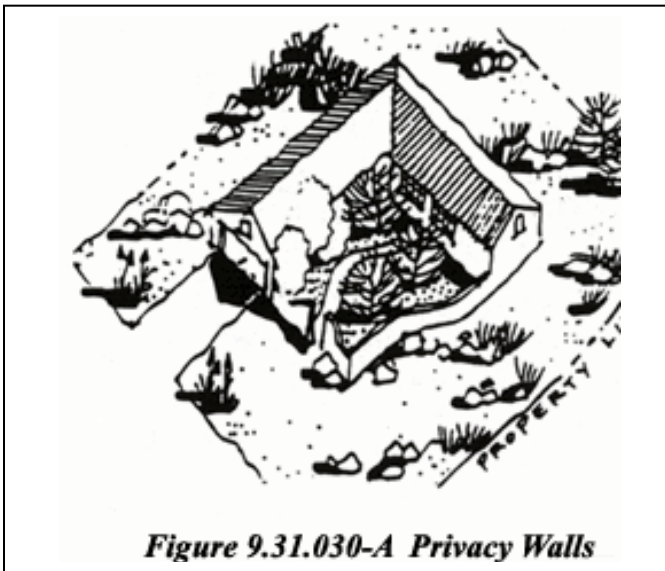
and aesthetic character of the surrounding residential homes, the Commission shall not approve said roofing material.

- f. Roofing material giving the appearance of a flat, seamless roof is expressly prohibited within all residential zones.

O. Building Articulation

- 5. Recessed windows and doors are encouraged to add articulation to the wall surface. Particular attention should be given to the shading of windows with southern and southwestern exposure.
- 6. A variety of heights, setbacks, roof shapes, trim, and sizes should be used to create visual complexity within a cohesive design.
- 7. Broad roof overhangs are recommended to produce interest and to respond to climatic conditions, especially when used in combination with courtyards, porch enclosures, balconies and recesses.
- 8. All street elevations shall be architecturally treated.

- P. Front Privacy Walls/Recessed Entryways.** Front privacy walls finished to match the residence are encouraged. Such privacy walls can be utilized to define private space and act as a border between the natural desert landscape and intense use areas. Recessed entryways and other shade and wind mitigating devices (arbors, patio covers, courtyards, porches) which shelter the user from the natural elements are also encouraged (Figure 9.31.030-A).



Q. Single-Family In-fill Design Criteria. All in-fill development shall be architecturally designed to project an image of a custom home. The number of custom features shall be based upon architectural style and/or overall size of home, subject to the Planning Commission Design Criteria Policy. Architectural features may include, but not be limited to the following:

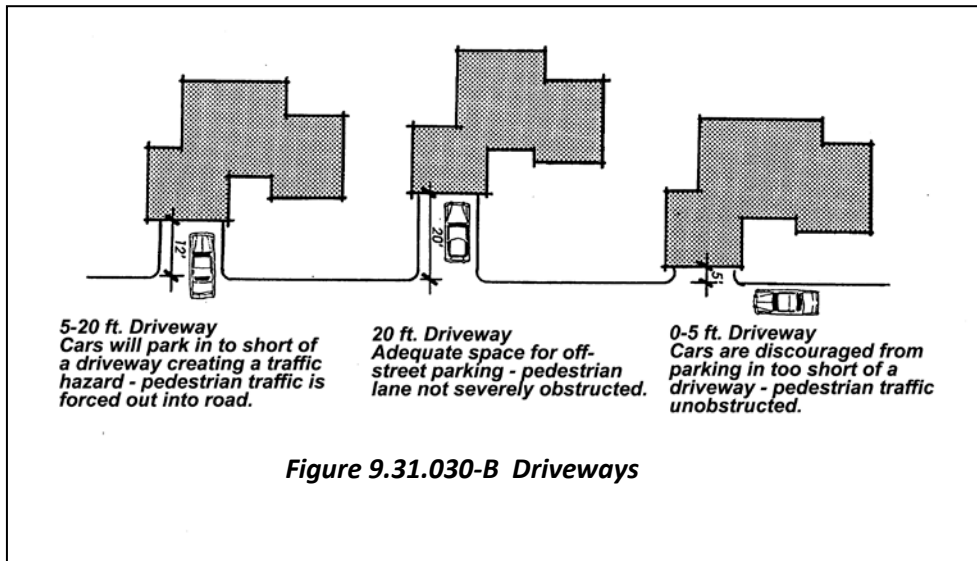
11. A variety of enhanced architectural features and materials shall be provided on every front and street side elevation. This can include, but is not limited to, porches, bay windows, pop-outs, veneers, rock, brick, wood siding, etc., or such other features.

12. All garage doors shall be sectional or roll-up. Glass window accents and/or custom designs are encouraged.

- 13. Trim, including that with a stucco covering, shall be painted in a contrasting color. The contrasting color shall be compatible with the structure's primary color.
- 14. Homes with a trim (band) feature, which distinguishes the first and second floors, should have the band on the front and rear elevation of the homes. The band will only be required on the side elevation, on corner lots where the elevation is visible from the street.
- 15. Two-story homes with a second story elevation facing a public right-of-way shall be provided with design features which could include pot shelves, shutters, wood siding under roof peaks, color contrasting paint under roof peaks and/or windows, etc./ or such other features.
- 16. Architectural treatment to chimneystacks is encouraged.
- 17. A wall-mounted lighting fixture shall be provided at the front porch area, as well as one on each side of the garage door(s) for a maximum total of three lighting fixtures are required. Decorative fixtures are encouraged.
- 18. Front entry doors with windows and/or decorative treatments are desirable.
- 19. Architectural treatments shall wrap around to the interior side or rear elevation a minimum of three (3) feet. Treatments to each elevation are encouraged.
- 20. Builders are encouraged to incorporate a custom, recognizable design feature into their stock plans.

- R. **Single-Family Subdivision Development Design Criteria.** All residential tract development (except single-family residential homes built on individual lots or tracts conditioned for custom home development) shall require the review and approval of a Development Permit by the Planning Commission subject to the provisions of Chapter 9.17 “Development Permits” of this Code and the following:
15. **A variety of enhanced architectural features and materials shall be provided on every front elevation. This can include, but is not limited to, porches, bay windows, pop-outs, veneers, rock, brick, wood siding, etc., or such other features approved by the Planning Commission.**
 16. **At least two out of every three models shall provide general architectural relief at the rear elevation of each home in order to avoid one continuous wall or flat surface on the rear of the home. Fireplaces, rear yard trellises, and media niches may be considered in this requirement.**
 17. **A variety of designs shall be used on garage doors, with no two adjoining homes that have the same floor plan and elevation using the same garage door pattern. In no case shall more than three homes of any floor plan or elevation have the same garage door pattern in a row. At least two out of three shall be provided with garage door windows in a variety of designs.**
 18. **All garage doors shall be sectional and roll-up. The applicant shall provide a color board indicating proposed garage door colors for Planning Commission approval.**
 19. **Trim with a stucco covering may be painted in a contrasting color. The contrasting color shall be color compatible with the structure’s primary color.**
 20. **Homes with a trim (band) feature, which distinguishes the first and second floors, should have the band on the front and rear elevation of the homes. The band will only be required on the side elevation, on corner lots where the elevation is visible from the street.**
 21. **Two-story homes with a second story elevation facing a public right-of-way shall be provided with design features which could include pot shelves, shutters, wood siding under roof peaks, color contrasting paint under roof peaks and/or windows, etc./ or such other features approved by the Planning Commission.**
 22. **The Director, or designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, façade treatments, and architectural reliefs. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.**
 23. **Architectural treatment shall be provided on each chimneystack.**
 24. **When used, mullions shall be provided on first, second and third-story windows, as approved by the Planning Commission. The mullions shall be provided in a variety of shapes.**
 25. **A wall-mounted decorative lighting fixture shall be provided at the front porch area, as well as one on each side of the garage door(s) for a maximum total of three lighting fixtures.**
 26. **All front entry doors shall provide either a window or the decorative treatment approved by the Commission under the Development Permit.**
 27. **The electric and/or gas meter adjacent to and serving each home shall be screened from view from any public right-of-way by shrubs or other landscaping approved by Planning Division. All above ground utility boxes or pedestals located within the front or side yard setback area(s), or within the public right-of-way adjacent to such setback area(s), shall be camouflaged with shrubs or other landscaping approved by Planning Division.**
 28. **All block walls shall be capped with a prefabricated block cap. Stucco walls must have a molded top.**
- S. ***Additional Architectural Standards for Attached Units.*** In addition to the architectural design standards for single family dwellings, the following design standards shall apply to attached single family dwellings:
4. Single family attached dwellings shall be architecturally articulated to project an image of customized homes. Preferred configurations include architectural treatment either as a large custom single family unit or as individually articulated dwellings such as traditional rowhouses.
 5. Adjacent driveways shall be separated by a planting strip.

6. Dwellings with driveways less than twenty (20) feet in length shall be provided with automatic garage door openers to prevent cars parked in the driveways from obstructing pedestrian movement on sidewalks (Figure 9.31.030-B).



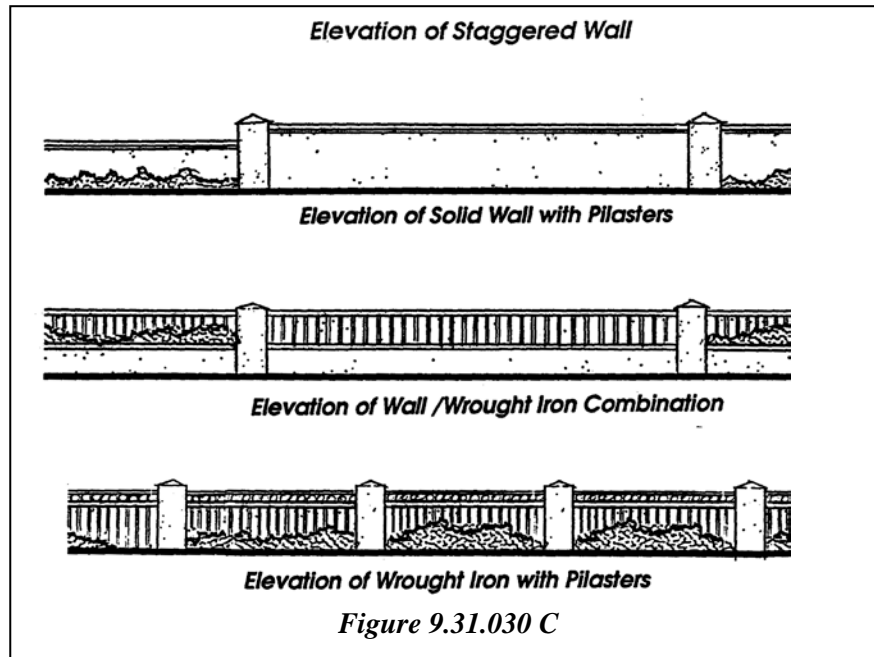
T. Accessory Features

5. **Accessory Structures.** The design of accessory structures (greater than 120 square feet) including second units, garages, guesthouses, cabanas and storage buildings shall be architecturally compatible with the primary structure through the use of compatible building materials, walls/roofs/trellises, fence/wall connections and/or landscaping.
6. **Mechanical Equipment**
 - a. Any equipment, whether on the roof, side of the structure or ground, shall be screened from public view from adjacent property or from a public right-of-way.
 - b. In new development, the method of screening shall be integrated into the architectural design of the building and/or landscaping.
 - c. In existing development which is modified pursuant to ~~subsection 9.07.030.B, Additions, Enlargements or Alterations~~ Chapter 9.07 "Nonconforming Uses and Structures" of this Code, the method of screening shall be architecturally compatible with the structure on which it occurs in terms of materials, color, shape and size.
7. **Vents, Gutters and Downspouts.** Roof flashing, rain gutters, downspouts, vents, **renewable energy conduit**, and other roof protrusions shall be finished to match, **or complement**, the roof or facade materials and/or colors which provide the background.
8. **Attached and Detached Accessory Structures.** Construction of any permanent or semi-permanent attached or detached accessory structure shall conform to the standards and criteria as detailed within ~~Section 9.29.022 "Semi permanent Carports and Accessory Structures or Shelters for the Storage of Cars, Boats, Recreational Vehicles, Trailers, Self-propelled Equipment and Related Bulk Items."~~ of Chapter 9.29 "Special Use Regulations for Residential Districts" of this Code.

U. Walls and Fences. Fencing requirements shall remain flexible, but installations should take advantage of the natural features of the site like topography and vegetation.

1. Closed privacy fencing should be limited to the immediate area around the home or outbuildings. Vinyl or wooden fencing shall be designed to withstand the frequent high desert winds. Grape stake or three (3)-inch slats are not permitted.

2. Large courtyards created by extending building walls with architectural walls similar to building walls providing private outdoor open space are strongly encouraged.
3. Property line walls and fences adjacent to streets shall be constructed of decorative materials such as vinyl or wood rail fencing, split face block or slumpstone. Such fencing shall incorporate appropriate decorative enhancements such as caps or pilasters. Chain link fencing in the front yard and abutting a street side yard of a corner lot are prohibited in the Residential Single-Family (R-SF) and Residential Equestrian (R-EQ) Zoning Districts, where the residence is constructed after June 7, 2007. Within the Very Low Density Residential (R-VLD), Residential Agriculture (R-A), Low Density Residential (R-LD), Estate Residential (R-E), Estate Residential $\frac{3}{4}$ (R-E $\frac{3}{4}$), Residential Equestrian (R-EQ) and Residential Single-Family (R-SF) Zoning Districts, perimeter walls for new subdivisions on local streets in existing neighborhoods are prohibited where the wall would be located opposite front yards.
4. **Subdivision Walls.** Subdivision walls shall be articulated by regularly spaced pilasters or landscape insets, decorative caps and landscaping. Pilasters or insets shall be spaced a maximum of forty (40) feet on center (Figure 9.31.030-C).



FINDINGS

An amendment to the Development Code requires that the Planning Commission address two (2) required “Findings”, as listed within Development Code Section 9.06.060. For Commission consideration, the required Findings are listed below, along with a comment addressing each. If the Commission concurs with these comments, they may be adopted and forwarded to the Council for its consideration of the Development Code Amendment. If the Commission wishes modifications to the offered comments, after considering input and public testimony at the public hearing, modifications to the Findings and Code Amendment recommendations can be included into the information forwarded to the Council for consideration.

- A. The proposed amendment is consistent with the General Plan; and

Comment: The General Plan provides the basic framework for land development within the Town of Apple Valley, with the Development Code setting the specific standards and criteria to fulfill the General Plan's Goals and Policies. The proposed Code Amendment is consistent with the General Plan because it incorporates succinct design standards to ensure quality development all single family areas consistent with the Town's General Plan Policies and Programs.

- B. The proposed amendment will not be detrimental to the public health, safety or welfare of the Town or its residents.

Comment: Amending the Code as proposed under Development Code Amendment No. 2015-007 will create design guidelines specific to single family development. As required within the General Plan, the amendment will enumerate the Town's minimum design requirements that will encourage and enhance the quality of life. Thus, the amendment proposed shall result in a change to the Code that addresses the community's living environment while providing for the health, safety and general welfare of the citizens of the Town of Apple Valley.

NOTICING

Development Code Amendment No. 2015-007 was advertised as a public hearing in the Apple Valley News newspaper on November 20, 2015.

ENVIRONMENTAL REVIEW

Staff has determined that the project is not subject to the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the State Guidelines to Implement CEQA, which states that the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question, the proposed Code Amendment, may have a significant effect on the environment, the activity is not subject to CEQA.

RECOMMENDATION

Following receipt of public input and discussion by the Commission, it is recommended that the Commission move to approve Planning Commission Resolution No. 2015-012, forwarding a recommendation that the Town Council amend Title 9 "Development Code" of the Town of Apple Valley Municipal Code as outlined within the staff report.

Prepared By: Reviewed By:

Pam Cupp
Associate Planner

Carol Miller
Principal Planner

Attachment:

1. Design Criteria Checklist
2. Pictorial Examples of Design Criteria
3. Planning Commission Resolution No. 2015-012

Design Criteria Checklist

A minimum of one point from each list must be included in the design of an infill single-family residence. Five items from the Minor list equals one point. One item from the Major list equals one point. The number of required points is determined by the square footage breakdown shown below. For pictorial examples of the terms referenced in this list, see the attached definitions. The Director shall have the authority to interpret and/or allow features not specifically identified.

Minor Features (5 checks equals one point)

Decorative features shall be required on the front and street side yard for corner lots.

- contrasting colors
- window surrounds, decorative sills or lentils
- decorative pilasters/columns/piers
- garage door with windows or decorative style (i.e. carriage style, barn door style)
- different shaped windows on the same floor which can include:
 - transom windows
 - arched windows
 - french doors
 - other _____
- decorative front door may include side lites, transom windows, decorative custom design
- boxed eaves, large overhangs at least 18", or exposed rafter tails, kickers or brackets
- decorative windows with muntins and mullions and/or arches and may include lead, colored glass or divided lites
- architectural moldings/ornamental details:
 - roundel
 - decorative vents
 - finials
 - medallions
 - quartrefoils
 - dentils
 - quiones
 - eyebrows
 - cornice moldings
 - band course/belly band
 - other _____
- Roof material other than composition shingle (i.e. concrete tile, clay tile, simulated wood shake/shingle)
- door and window details (i.e. keystones, dentils or pediments over doors and windows)
- decorative iron work
- shutters and/or window boxes
- decorative window/door reveals (i.e. arched reveals, window or door reveals)
- second story reveal

- decorative/architectural niche
- decorative chimney tops
- smooth stucco finish
- quality decorative carriage lighting on each side of garage door and at front entry
- decorative pavers or stamped concrete walkways
- on corner lots, placing the house at an a minimum of 30 degree angle.
- stucco eaves and fascia
- rain gutters and down spouts
- solar panels on roof
- decorative/stylized roof vents

Major Features (1 check equals one point)

- 2 types of materials (i.e. wainscot)
- covered front porch or arbor
- portico or decorative pronounced entryway
- front balcony
- tower feature in front or street side yard
- front courtyard niches
- garage doors not facing street
- three (3)-car garage or greater
- traditional architectural style (see definitions - i.e. spanish revival, pueblo, craftsman, ranch)
- front or street side bay window, overhang jetty
- front or side yard porte cochere
- multiple roof lines and roof heights (i.e. shed roof, dormers)
- multiple off-sets on elevations
- front planter walls or front privacy walls that match the residence, preferably stucco, stone or brick with a decorative cap.

Point Requirement For House Size, excluding patios and porches.

1,200 sq. ft. - 1,499 sq. ft.	3 pts.
1,500 sq. ft. - 1,799 sq. ft.	4 pts.
1,800 sq. ft. - 2,199 sq. ft.	5 pts.
2,200 sq. ft. - 2,799 sq. ft.	6 pts.
2,800 sq. ft. and above	7 pts.

Pictorial Definitions/Samples -



Rafter Tails



Quoins



Belly Band



Decorative Iron Work



Wainscot



Shutters (faux shutters)



Balconies



Decorative vents



Pilaster



Decorative Porch with Stylized Columns



Molding with "Reveal Lines"



Cornice with Dentil



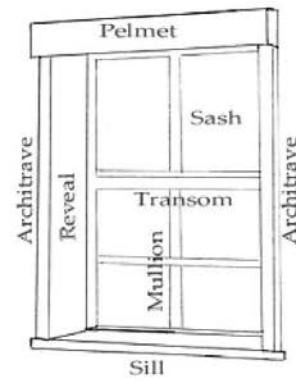
Tower Feature/Prominent Entryway.



Eave/Box



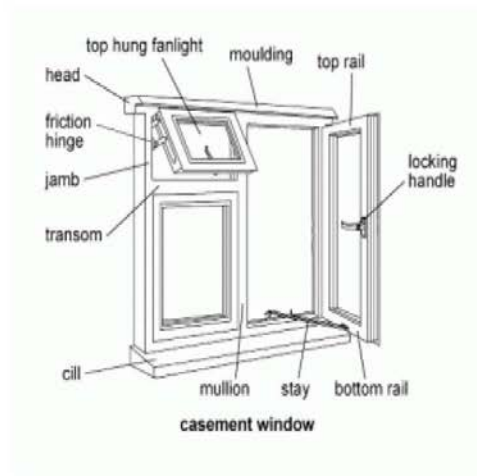
Residence with Medallion/Feature



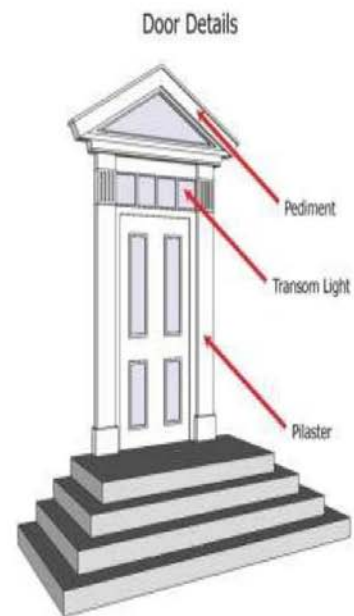
Windows with Mullions Sash Transom, Muttons and Architrave



Casement Style Window



Pediments and/or Transom over Door





Different Sizes and Styles of Windows on Street Facing Elevation



Use of Precast Concrete Trim along with Keystone Arches and Sills



Use of Quatrefoil



Lintel over Window



Finials on Pitch of Roof



Corbels under Window Sills (decorative)



Overhang Jetty



Copula Feature



Planter Walls in Front of Residence



Decorative Garage with Windows



Niche and Niche courtyard with Decorative Garage



Decorative Chimney Tops



Portico Entryway



Porch along Front Elevation of House



Dormer



Gable Roof Styles



Gable Window Feature



Vega



Smooth Stucco Finish





Carriage Lights Front Door and Garage



Decorative Pavers/Stamped Concrete Driveways

Traditional Single-Family Architectural Styles -

Craftsman / Bungalow -



Spanish Eclectic -



Monterey -



Prairie -



Ranch/California Ranch -



Pueblo -



Mediterranean and Tuscan/Californian Influence -





Southwestern Influence -



Spanish Revival -



PLANNING COMMISSION RESOLUTION NO. 2015-012

A RESOLUTION OF THE PLANNING COMMISSION OF THE TOWN OF APPLE VALLEY, CALIFORNIA, RECOMMENDING THAT THE TOWN COUNCIL ADOPT DEVELOPMENT CODE AMENDMENT NO. 2015-007 AMENDING TITLE 9 "DEVELOPMENT CODE" OF THE TOWN OF APPLE VALLEY MUNICIPAL CODE, BY AMENDING SECTION 9.31.020 "SINGLE FAMILY SITE PLANNING DESIGN STANDARDS" AND SECTION 9.31.030 "SINGLE FAMILY ARCHITECTURAL DESIGN STANDARDS" AS IT RELATES TO PLOTTING AND DESIGN CRITERIA FOR SINGLE FAMILY INFILL AND SUBDIVISION DEVELOPMENT.

WHEREAS, Title 9 "Development Code" of the Municipal Code of the Town of Apple Valley was adopted by the Town Council on April 27, 2010; and

WHEREAS, Title 9 (Development Code) of the Municipal Code of the Town of Apple Valley has been previously modified by the Town Council on the recommendation of the Planning Commission; and

WHEREAS, specific changes are proposed to Title 9 "Development Code" of the Town of Apple Valley Municipal Code by amending Chapter 9.75; and,

WHEREAS, on November 20, 2015, Development Code Amendment No. 2015-007 was duly noticed in the Apple Valley News, a newspaper of general circulation within the Town of Apple Valley; and

WHEREAS, Staff has determined that the project is not subject to the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the State Guidelines to Implement CEQA, which states that the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question, the proposed Code Amendment, may have a significant effect on the environment, the activity is not subject to CEQA; and

WHEREAS, on December 2, 2015 the Planning Commission of the Town of Apple Valley conducted a duly noticed and advertised the public hearing on Development Code Amendment No. 2015-007, receiving testimony from the public; and

WHEREAS, Development Code Amendment No. 2015-007 is consistent with Title 9 "Development Code" of the Municipal Code of the Town of Apple Valley and shall promote the health, safety and general welfare of the citizens of the Town of Apple Valley.

NOW, THEREFORE, BE IT RESOLVED that in consideration of the evidence presented at the public hearing, and for the reasons discussed by the Commissioners at said hearing, the Planning Commission of the Town of Apple Valley, California, does hereby resolve, order and determine as follows and recommends that the Town Council make the following findings and take the following actions:

Section 1. Find that the changes proposed by Development Code Amendment No. 2015-007 are consistent with the Goals and Policies of the Town of Apple Valley adopted General Plan.

Section 2. The project is not subject to the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) of the State Guidelines to Implement CEQA, which states that the activity is covered by the general rule that CEQA applies only to projects that have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question, the proposed Code Amendment, may have a significant effect on the environment, the activity is not subject to CEQA.

Section 3. Amend the Development Code Section 9.31.020 "Single Family Site Planning Design Standards" as follows:

"9.31.020 SINGLE FAMILY SITE PLANNING DESIGN STANDARDS

An important goal of single family site planning is to create functional and visual variety along local streets. It is the intent of these design standards to discourage subdivisions where identical homes march down long, uninterrupted straight streets, with no variation in building placement or the street scene.

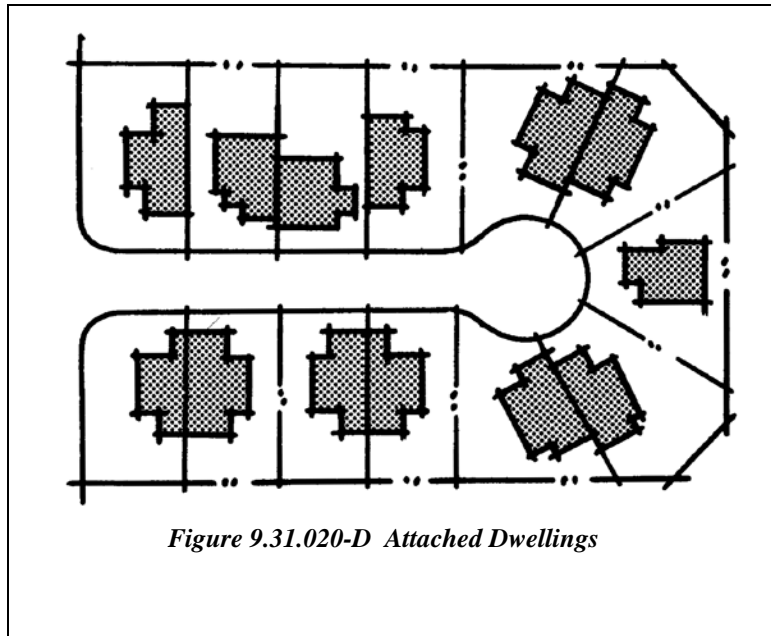
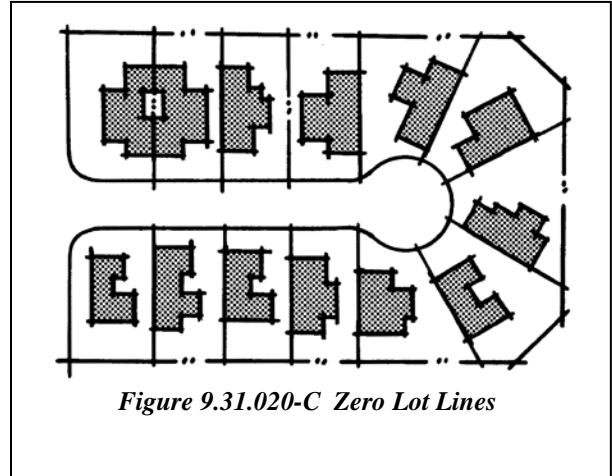
- A. *Siting Structures and Lot Preparation.*** The following standards shall be used in evaluating the site and structure design of new single family and multi-family developments. Appropriate designs will:
1. Protect natural slopes, contours, ridgelines and other elevations;
 2. Preserve significant landscape features and patterns;
 3. Take into account existing sites and structures and be sensitive to the preservation of established vistas and view corridors;
 4. Utilize contour grading to blend into existing landforms, rather than severe cutting, filling, padding or terracing;
 5. Avoid steep cuts and minimize soil import or export;
 6. Avoid the creation of structures out of scale with their surroundings by not building up pads on artificial platforms to create or enhance views;
 7. For infill and previously subdivided lots, minimize grading and site preparation to reduce erosion, soil exposure and minimize impacts on natural drainage courses. Except for activities required to extend access and infrastructure, and to provide for drainage, disturbance of a site shall be limited to thirty (30) feet surrounding the building pad;
 8. Round and contour graded slopes to blend with the existing terrain. Native vegetation shall be retained and incorporated into the project wherever possible. Grading for building pads shall be sensitively designed to reduce disturbance and visual impacts. Split pad grading shall be utilized in place of excessive soil export/import to create a building pad.
 9. Minimize the removal of native vegetation;
 10. Separate and screen structures from each other to maximize privacy; and
 11. Site single family dwellings on a lot to respond to and to respect property views, site features, existing topography, and any adjacent existing development. Dwelling units need not be sited parallel to the street if other orientations take better advantage of site features.
 12. Through lots or reverse frontage lots should be avoided. Tracts of single-family dwellings should not back onto local road rights-of-way and should front onto these local roads.
- B. *Infill in Existing Neighborhoods.*** New single family development in existing neighborhoods shall be compatible with the adjacent residences.

1. ***Infill Setbacks.*** The setbacks of infill development shall be either:
 - a. Equal to the average setback of all residences on both sides of public rights-of-way within 200 feet of the property lines of the new development; or
 - b. Equal to the average of the two (2) immediately adjacent residences.
 2. ***Roadway Improvements.*** Roadway improvements on infill lots in existing neighborhoods shall match roadway improvements of the two adjacent lots.
- C. ***Driveway Entries/Garages.*** Where ample room exists, circular driveway entries are preferred. Such driveways allow motorists to enter and exit the property in a forward motion. Garages may be detached and connected to the residence by a breezeway. In addition:
1. Garage doors shall be setback a minimum of twenty (20) feet to allow driveway parking clear of sidewalks and public rights-of-way.
 2. Angled garages are encouraged to improve the streetscape by breaking up the monotony of all garage doors being parallel to the street.
 3. Orientation of garage should be opposite of bedrooms on adjacent house when possible.
- D. ***Setbacks*** The following setback requirements shall apply:
1. ***Front Yard.*** Placement of residences and garages close to or back from the street creates different patterns of visible open space. The structures themselves, when closer to the street, add to the diversity of the view. The minimum offset of front setbacks for adjacent properties shall be five (5) feet. When located on a curvilinear street, which provides a varied street scene, the minimum variation shall be three (3) feet. When one and two-story homes are adjacent, the two-story home shall have the larger front setback.
 2. ***Side Yard.*** Varying the distance between adjacent residences, or between residences and fences, results in different types of yards and private patio areas. Within subdivisions, side yard setbacks shall be varied from each side of the lot to create unique spaces and break up visual monotony from the street.
- E. ***Reverse Frontage Lots/Subdivision Walls***
1. All subdivision perimeter walls parallel to major or secondary streets rights-of-way shall be consistent with the design standards of subsection 9.31.030.C, Walls and Fences, of this Chapter. Subdivisions adjacent to local road rights-of-way should not have perimeter walls. Vinyl, wood and wrought iron is preferred if lots cannot be oriented toward the local road.
 2. Tract areas which back onto rights-of-way shall be landscaped as required by subsection 9.75.040.E, *Landscape Improvement Requirements*, of this Code.
 3. Residential tracts which back onto vacant areas that are not intended to be future local roads may be permitted to construct a wall around the perimeter of the tract adjacent to this vacant area.
 4. Provide bike paths and equestrian trails as required by the General Plan.
 5. Perpetual maintenance arrangements of these areas is subject to approval by the Town Engineer and the Director.
- F. ***Landscaping***
1. Xeriscape landscaping techniques shall be use in all front yards, street side yards and in all parkway areas in accordance with Chapter 9.75 “Water Conservation/Landscape Regulations”, of this Code.
 2. Within parkway and common areas, in accordance with Chapter 9.75, *Water Conservation/Landscaping Regulations*, of this Code, landscaping materials shall be drought resistant, native type plants, trees and groundcover.
- G. ***Cul-De-Sac Treatments.*** Cul-de-sacs are recognized as an excellent opportunity to enhance the privacy and safety of residents, especially children. Cul-de-sac designs are strongly encouraged subject to the following :
1. Length shall not exceed 600 feet without secondary access.
 2. To avoid confusion for emergency services personnel, cul-de-sac names shall not be derived from other nearby streets.

3. Cul-de-sacs on private streets shall include a landscape island in the center of the cul-de-sac.
4. Driveways shall be separated by a minimum planting strip of five (5) feet.

H. Planned Residential Developments

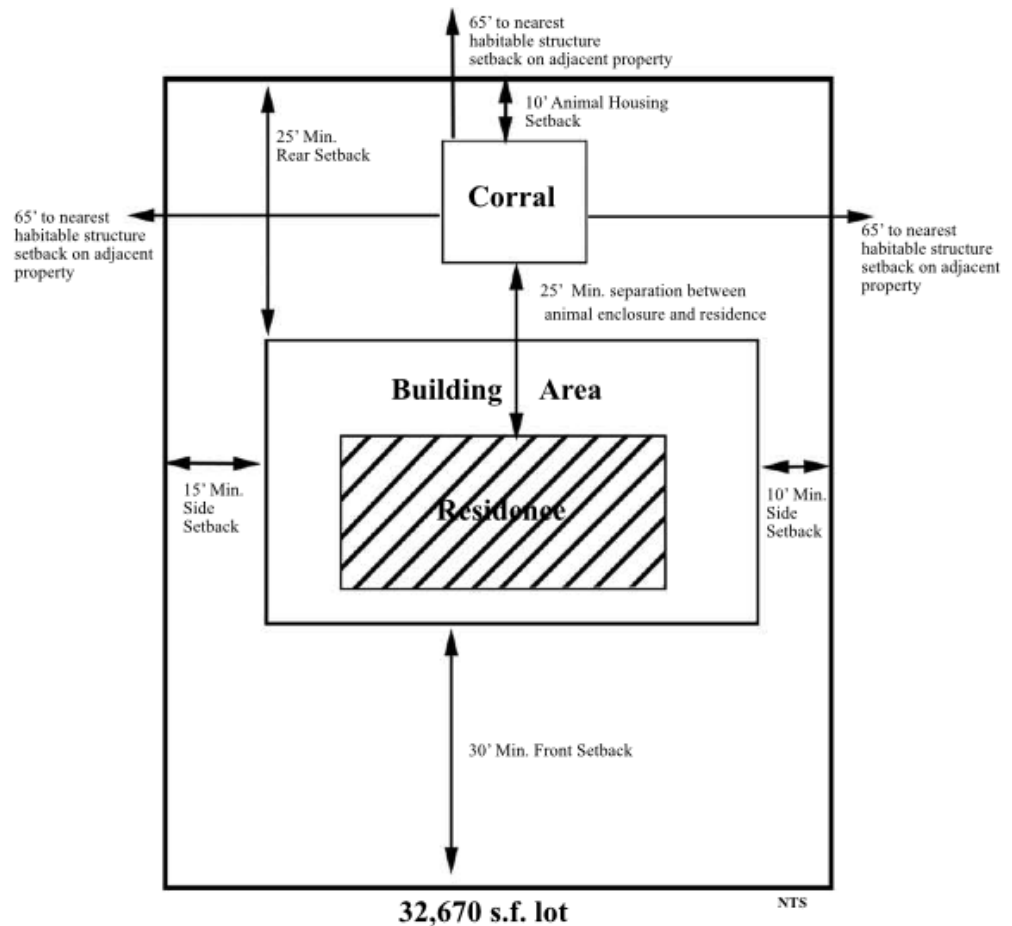
1. **Zero Lot Line Residences.** Zero lot line residences (residence is flush to a side lot line), as allowed in Planned Residential Developments, shall provide courts and patios that conventional lots may prevent. Also, an articulated street scene shall be provided (Figure 9.31.020-C)
2. **Attached Dwellings.** Attached dwellings can look like two or more separate structures or like one large custom home, depending on the articulation and treatment of the roof line and the facades. Attached dwellings shall be used to yield larger open space areas between structures (Figure 9.31.020-D).



I. Residential Estate ¾ Site Planning for Equestrian

An important goal of site planning for equestrian purposes is to create functional and visually pleasing parameters that will serve to meet equestrian needs, discourage restrictions on equestrian accessory structures, and standardize permitted uses within equestrian districts. The following site planning standards are suggested for Residential Estate ¾ (equestrian) lots larger than 32,670 square feet.

1. **Setbacks for Equestrian Accessory Structures.** The following setbacks apply:
 - a. **Stables and Corrals.** Placement of equestrian accessory structures such as stables and corrals shall be consistent with Chapter 9.29.030 and should consider a minimum rear setback of ten (10) feet from the property line and be a minimum of sixty-five (65) feet from offsite habitable structures. Such buildings and roofed structures existing prior to the development of adjacent vacant property and closer than sixty-five (65) feet to new construction setbacks shall become a legal nonconforming use.



Section 4. Amend the Development Code Section 9.31.030 "Single Family Architectural Design Standards" as follows:

"9.31.030 SINGLE FAMILY ARCHITECTURAL DESIGN STANDARDS (AMENDED ORD. 313, 315, 343, 369, 430)

V. Architectural Style. While there is no particular architectural style required for single family residential structures, the focus shall be on the development of a high quality residential environment. In selecting an architectural style, compatibility with the desert environment should be considered. American Desert and Ranch architectural styles that blend with the natural desert environment are encouraged. Traditional American Southwest, Spanish Revival, Pueblo, Mediterranean/Italianate or Craftsman architectural styles are also encouraged.

W. Environmental Design. Desert appropriate environmental design shall respond to the environmental conditions of the high desert by responding to sun, wind, heat and cold. Building and landscaping responses to the environmental conditions of the Town's desert climate which provide shelter and relief from sun and wind, such as broad overhangs, arbors and front porches, are strongly encouraged. Building designs which reduce the need for mechanical heating and cooling are also encouraged.

X. Architectural Diversity

5. Single Family In-fill Plotting Criteria

- a. *If the same floor plan is used for adjacent homes, one shall be the reverse of the other, whenever possible, and have a different elevation.*
 - b. *No two homes using the same floor plan, elevation and/or color scheme shall be constructed on any cul-de-sac bulb.*
 - c. *No two adjacent homes using the same floor plan shall have the same exterior color scheme/treatment.*
6. **Single Family Subdivision Plotting Criteria.** All residential subdivision development (except single-family residential homes built on individual lots or tracts conditioned for custom home development) shall require the review and approval of a Development Permit by the Planning Commission subject to the provisions of Chapter 9.17 “Development Permits” of this Code and the following:
- a. In order to achieve diversity and to promote the custom home style prevalent in Apple Valley, the number of floor plans and elevations enumerated in Table 9.31.030-A shall be offered in a subdivision:

Table 9.31.030-A Floor Plans/Elevations Required

Number of Units	Minimum Floor Plans Required	Minimum Elevations Required
Less than 40 units	three (3) plans	total of six (6) elevations
40 to 100 units	four (4) plans	total of twelve (12) elevations
More than 100 units	five (5) plans	total of fifteen (15) elevations

Note: Color scheme variations sensitive to the natural colors of the landscape shall be utilized.

- b. No more than twenty-five (25) percent of the homes on any block, including both sides of the street, shall have the same elevation.
- c. A floor plan shall not be used consecutively more than three times in a row (whether reversed or not).
- d. If the same floor plan is used for adjacent homes, one shall be the reverse of the other whenever possible, and have a different elevation.
- e. No more than 65% of any one floor plan shall be used on any cul-de-sac or along any street between intersecting streets.
- f. No two homes using the same floor, elevation and/or color scheme shall be constructed on any cul-de-sac bulb.
- g. No two adjacent homes using the same floor plan shall have the same exterior color scheme/treatment.

Y. Building Materials.

- 11. Metal or aluminum siding, reflective materials and finishes, and unfinished concrete block shall be avoided unless they are necessary as a part of an established or common architectural style upon review and approval of the Planning Commission on a case-by-case basis.
- 12. Stone, brick, masonry, stucco, adobe and smooth plasters are required when such architectural treatments are used upon the main structure on site.
- 13. The use of corrugated metal on any exterior is prohibited.
- 14. The use of plywood products on any exterior will require Director review and approval. Approval shall be based upon product quality and proven durability.
- 15. **Roofing Materials** Metal roofing materials simulating traditional “S” shaped or flat tile roofing material, simulating shake roofing material (if consistent with surrounding homes), and materials identified within the Planning Commission Metal Roof Policy Statement shall be permitted within all residential zoning districts. All other exposed metal material used for roofing may be reviewed and approved by the Planning Commission on a case-by-case basis as follows:
 - g. The Planning Commission shall determine that the proposed roofing material is consistent and compatible with and complimentary to the architectural and aesthetic character of the home upon

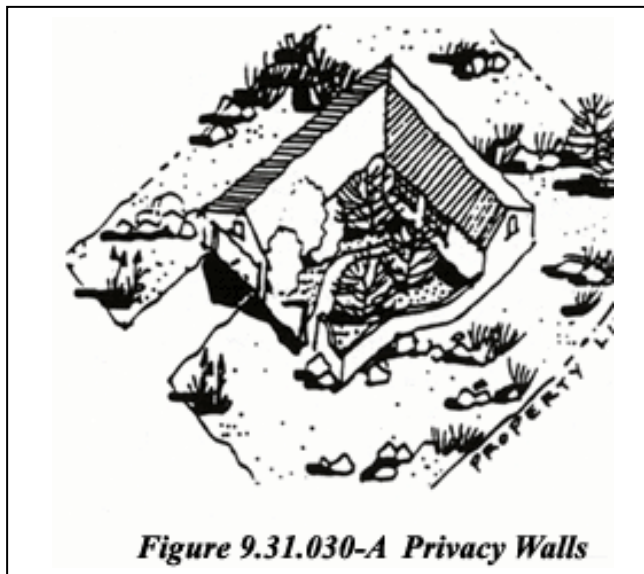
which the roofing shall be placed, and consistent and compatible with and complimentary to the architectural and aesthetic character of the surrounding residential homes. Upon such determination, the Commission may approve said roofing material.

- h.* If, however, the Commission determines that the proposed roofing material is not consistent and compatible with and complimentary to the architectural and aesthetic character of the home upon which the roofing shall be placed, and consistent and compatible with and complimentary to the architectural and aesthetic character of the surrounding residential homes, the Commission shall not approve said roofing material.
- i.* Roofing material giving the appearance of a flat, seamless roof is expressly prohibited within all residential zones.

Z. Building Articulation

- 9.* Recessed windows and doors are encouraged to add articulation to the wall surface. Particular attention should be given to the shading of windows with southern and southwestern exposure.
- 10.* A variety of heights, setbacks, roof shapes, trim, and sizes should be used to create visual complexity within a cohesive design.
- 11.* Broad roof overhangs are recommended to produce interest and to respond to climatic conditions, especially when used in combination with courtyards, porch enclosures, balconies and recesses.
- 12.* All street elevations shall be architecturally treated.

AA. Front Privacy Walls/Recessed Entryways. Front privacy walls finished to match the residence are encouraged. Such privacy walls can be utilized to define private space and act as a border between the natural desert landscape and intense use areas. Recessed entryways and other shade and wind mitigating devices (arbors, patio covers, courtyards, porches) which shelter the user from the natural elements are also encouraged (Figure 9.31.030-A).



BB. Single-Family In-fill Design Criteria. All in-fill development shall be architecturally designed to project an image of a custom home. The number of custom features shall be based upon architectural style and/or overall size of home, subject to the Planning Commission Design Criteria Policy. Architectural features may include, but not be limited to the following:

21. A variety of enhanced architectural features and materials shall be provided on every front and street side elevation. This can include, but is not limited to, porches, bay windows, pop-outs, veneers, rock, brick, wood siding, etc., or such other features.
22. All garage doors shall be sectional or roll-up. Glass window accents and/or custom designs are encouraged.
23. Trim, including that with a stucco covering, is encouraged to be painted in a contrasting color. The contrasting color shall be compatible with the structure's primary color.
24. Homes with a trim (band) feature, which distinguishes the first and second floors, should have the band on the front and rear elevation of the homes. The band will only be required on the side elevation, on corner lots where the elevation is visible from the street.
25. Two-story homes with a second story elevation facing a public right-of-way shall be provided with design features which could include pot shelves, shutters, wood siding under roof peaks, color contrasting paint under roof peaks and/or windows, etc./ or such other features.
26. Architectural treatment to chimneystacks is encouraged.
27. A wall-mounted lighting fixture shall be provided at the front porch area, as well as one on each side of the garage door(s) for a maximum total of three lighting fixtures are required. Decorative fixtures are encouraged.
28. Front entry doors with windows and/or decorative treatments are desirable.
29. Architectural treatments shall wrap around to the interior side or rear elevation a minimum of three (3) feet. Treatments to each elevation are encouraged.
30. Builders are encouraged to incorporate a custom, recognizable design feature into their stock plans.

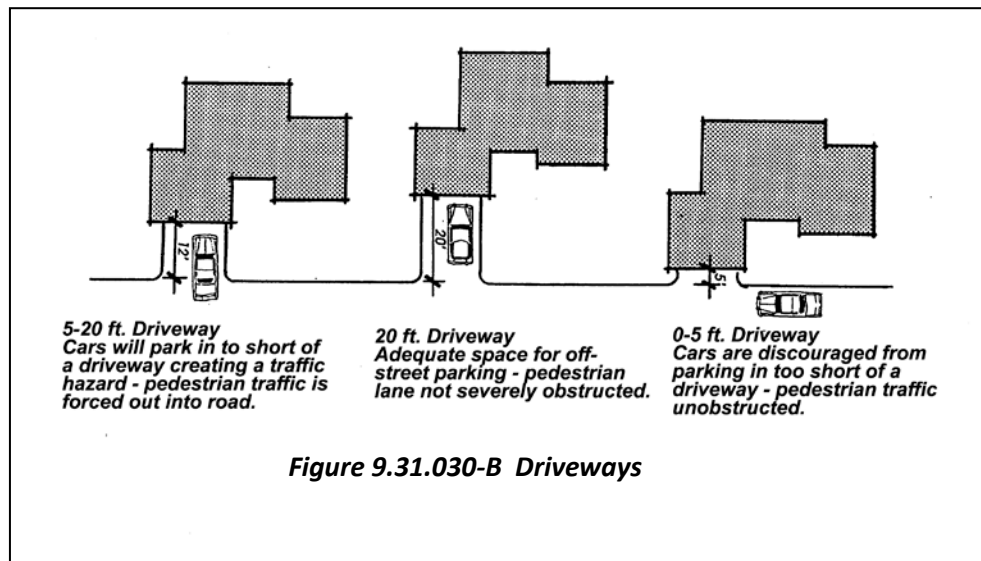
CC. Single-Family Subdivision Development Design Criteria. All residential tract development (except single-family residential homes built on individual lots or tracts conditioned for custom home development) shall require the review and approval of a Development Permit by the Planning Commission subject to the provisions of Chapter 9.17 "Development Permits" of this Code and the following:

29. A variety of enhanced architectural features and materials shall be provided on every front elevation. This can include, but is not limited to, porches, bay windows, pop-outs, veneers, rock, brick, wood siding, etc., or such other features approved by the Planning Commission.
30. At least two out of every three models shall provide general architectural relief at the rear elevation of each home in order to avoid one continuous wall or flat surface on the rear of the home. Fireplaces, rear yard trellises, and media niches may be considered in this requirement.
31. A variety of designs shall be used on garage doors, with no two adjoining homes that have the same floor plan and elevation using the same garage door pattern. In no case shall more than three homes of any floor plan or elevation have the same garage door pattern in a row. At least two out of three shall be provided with garage door windows in a variety of designs.
32. All garage doors shall be sectional and roll-up. The applicant shall provide a color board indicating proposed garage door colors for Planning Commission approval.
33. Trim with a stucco covering may be painted in a contrasting color. The contrasting color shall be color compatible with the structure's primary color.
34. Homes with a trim (band) feature, which distinguishes the first and second floors, should have the band on the front and rear elevation of the homes. The band will only be required on the side elevation, on corner lots where the elevation is visible from the street.
35. Two-story homes with a second story elevation facing a public right-of-way shall be provided with design features which could include pot shelves, shutters, wood siding under roof peaks, color contrasting paint under roof peaks and/or windows, etc./ or such other features approved by the Planning Commission.

36. The Director, or designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, façade treatments, and architectural reliefs. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.
37. Architectural treatment shall be provided on each chimneystack.
38. When used, mullions shall be provided on first, second and third-story windows, as approved by the Planning Commission. The mullions shall be provided in a variety of shapes.
39. A wall-mounted decorative lighting fixture shall be provided at the front porch area, as well as one on each side of the garage door(s) for a maximum total of three lighting fixtures.
40. All front entry doors shall provide either a window or the decorative treatment approved by the Commission under the Development Permit.
41. The electric and/or gas meter adjacent to and serving each home shall be screened from view from any public right-of-way by shrubs or other landscaping approved by Planning Division. All above ground utility boxes or pedestals located within the front or side yard setback area(s), or within the public right-of-way adjacent to such setback area(s), shall be camouflaged with shrubs or other landscaping approved by Planning Division.
42. All block walls shall be capped or finished with a molded top.

DD. Additional Architectural Standards for Attached Units. In addition to the architectural design standards for single family dwellings, the following design standards shall apply to attached single family dwellings:

7. Single family attached dwellings shall be architecturally articulated to project an image of customized homes. Preferred configurations include architectural treatment either as a large custom single family unit or as individually articulated dwellings such as traditional rowhouses.
8. Adjacent driveways shall be separated by a planting strip.
9. Dwellings with driveways less than twenty (20) feet in length shall be provided with automatic garage door openers to prevent cars parked in the driveways from obstructing pedestrian movement on sidewalks (Figure 9.31.030-B).



EE. Accessory Features

9. **Accessory Structures.** The design of accessory structures (greater than 120 square feet) including second units, garages, guesthouses, cabanas and storage buildings shall be architecturally compatible with the

primary structure through the use of compatible building materials, walls/roofs/trellises, fence/wall connections and/or landscaping.

10. Mechanical Equipment

- a. Any equipment, whether on the roof, side of the structure or ground, shall be screened from public view from adjacent property or from a public right-of-way.
- b. In new development, the method of screening shall be integrated into the architectural design of the building and/or landscaping.
- c. In existing development which is modified pursuant to Chapter 9.07 "Nonconforming Uses and Structures" of this Code, the method of screening shall be architecturally compatible with the structure on which it occurs in terms of materials, color, shape and size.

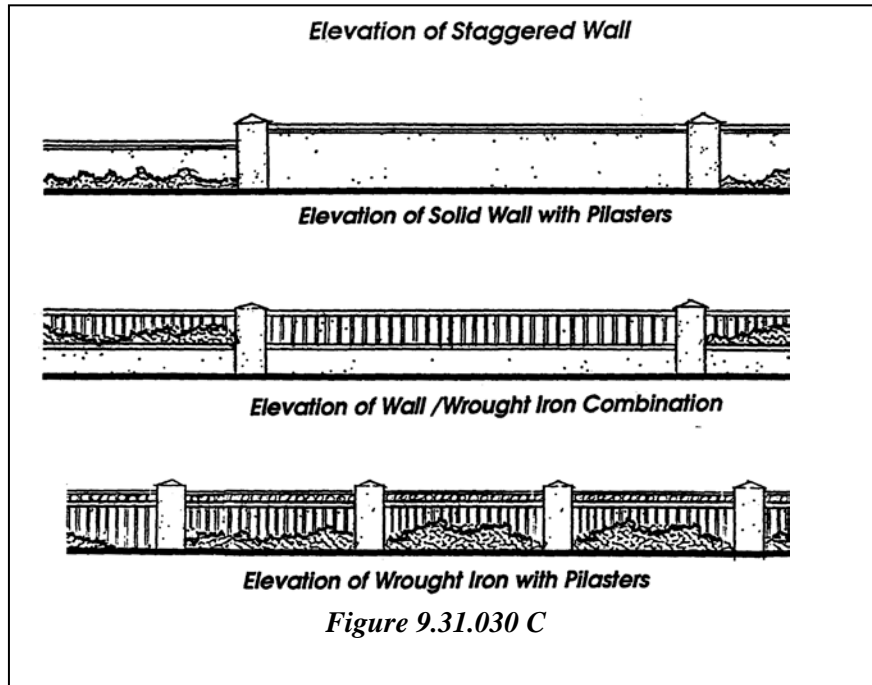
11. Vents, Gutters and Downspouts. Roof flashing, rain gutters, downspouts, vents, renewable energy conduit, and other roof protrusions shall be finished to match, or complement, the roof or facade materials and/or colors which provide the background.

12. Attached and Detached Accessory Structures. Construction of any permanent or semi-permanent attached or detached accessory structure shall conform to the standards and criteria as detailed within Chapter 9.29 "Special Use Regulations for Residential Districts" of this Code.

FF. Walls and Fences. Fencing requirements shall remain flexible, but installations should take advantage of the natural features of the site like topography and vegetation.

1. Closed privacy fencing should be limited to the immediate area around the home or outbuildings. Vinyl or wooden fencing shall be designed to withstand the frequent high desert winds. Grape stake or three (3)-inch slats are not permitted.
2. Large courtyards created by extending building walls with architectural walls similar to building walls providing private outdoor open space are strongly encouraged.
3. Property line walls and fences adjacent to streets shall be constructed of decorative materials such as vinyl or wood rail fencing, split face block or slumpstone. Such fencing shall incorporate appropriate decorative enhancements such as caps or pilasters. Chain link fencing in the front yard and abutting a street side yard of a corner lot are prohibited in the Residential Single-Family (R-SF) and Residential Equestrian (R-EQ) Zoning Districts, where the residence is constructed after June 7, 2007. Within the Very Low Density Residential (R-VLD), Residential Agriculture (R-A), Low Density Residential (R-LD), Estate Residential (R-E), Estate Residential $\frac{3}{4}$ (R-E $\frac{3}{4}$), Residential Equestrian (R-EQ) and Residential Single-Family (R-SF) Zoning Districts, perimeter walls for new subdivisions on local streets in existing neighborhoods are prohibited where the wall would be located opposite front yards.

4. **Subdivision Walls.** Subdivision walls shall be articulated by regularly spaced pilasters or landscape insets, decorative caps and landscaping. Pilasters or insets shall be spaced a maximum of forty (40) feet on center (Figure 9.31.030-C).



Approved and Adopted by the Planning Commission of the Town of Apple Valley this 2nd day of December, 2015.

Chairman Bruce Kallen

ATTEST:

I, Yvonne Rivera, Secretary to the Planning Commission of the Town of Apple Valley, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 2nd day of December, 2015 by the following vote, to-wit:

AYES:
NOES:
ABSENT:
ABSTAIN:

Ms. Yvonne Rivera, Planning Commission Secretary