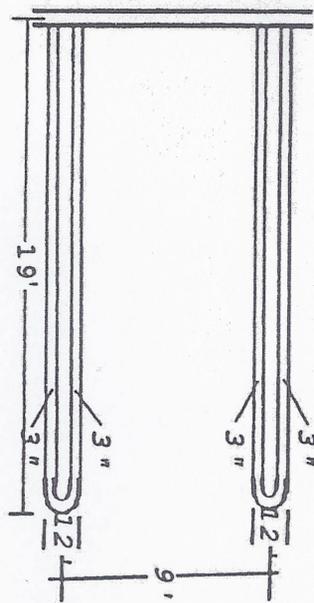
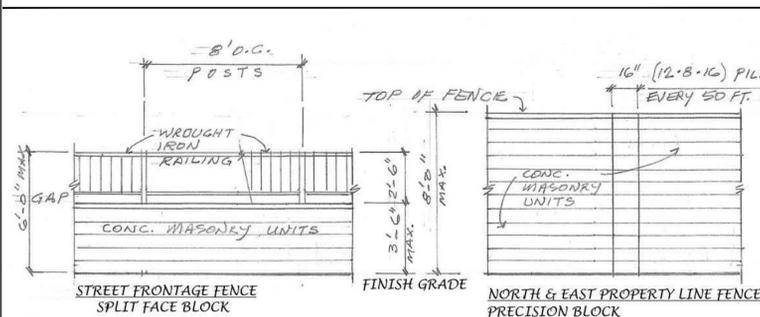


NOTES:  
COLOR : BLACK TO MATCH FENCE  
ELECTRIC MOTOR OPERATION NON LOCKING

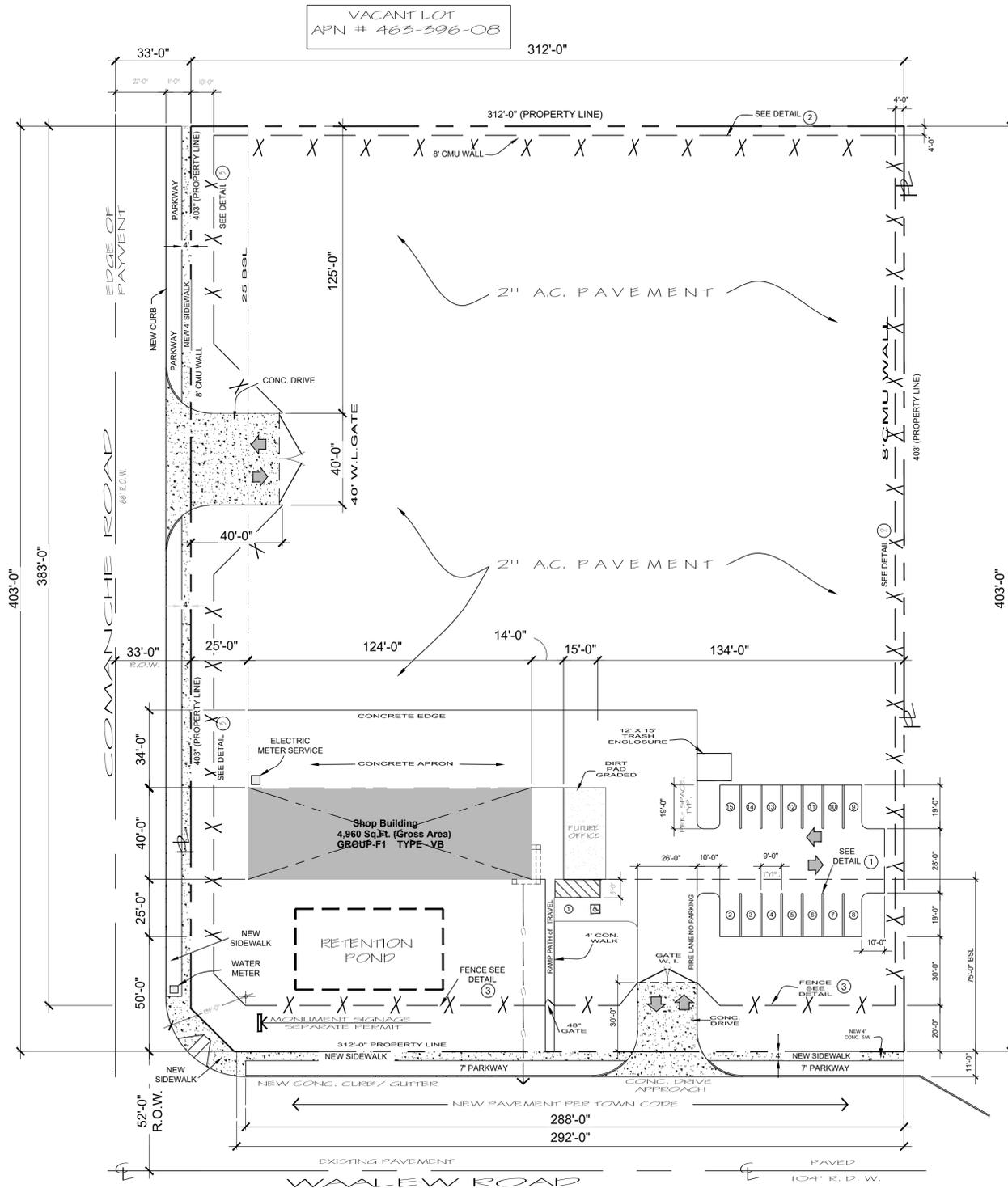
3 WESTERN & SOUTH GATE ELEVATIONS  
N.T.S



PARKING STALL  
N.T.S



FENCE ELEVATIONS  
N.T.S



SITE PLAN

SCALE : 1" = 30'-0"

Parking Requirements (As Per Town Of Apple Valley)

Shop: 4,817 Sq. Ft. / 400 Sq. Ft.	12 Spaces
(4) Bays / 2	- 2 Spaces Credit
Office: 143 Sq. Ft. / 200 Sq. Ft.	1 Spaces
Total Shop Parking Required :	11 Spaces
Handicap Parking Space (ADA) With Unloading Zones	1 Space (CBC 11B-208.2)
Total Parking Required :	11 Spaces
Total Parking Provided:	15 Spaces

SITE COVERAGE INFO.

BUILDING AREA:	4,960 SQ.FT.
TOTAL LOT SIZE:	125,736 SQ.FT.
PERCENTAGE OF COVERAGE:	3.9%

LANDSCAPE AREA TABULATION

LANDSCAPE AREA:	8,358 SQ.FT.
INTERIOR OPEN SPACE:	20,895 SQ.FT.
PERCENTAGE OF COVERAGE:	40%

CATEGORY

STREET FRONTAGE:	75' & 25'
SIDE YARD:	00'-0"
REAR YARD:	15'-0"
BLDG HEIGHT:	22' FEET ACTUAL < 35 FEET ALLOWED
FLOOR AREA:	4,960 SF. ACTUAL < 34,000 SF. ALLOWED
LANDSCAPE AREA:	8,358 SQ.FT. < 20,000 SQ.FT. ALLOWED
OCCUPANT LOAD:	4,960 FEET/500 = 10 OCCUPANTS MAX.
EXIT REQUIRED:	50 > 49 = ONE EXITS MIN. TWO PROVIDED
EXIT SEPARATION:	64 FEET MIN.

FIRE SEPARATION REQ. CBC TABLE 602

STREET FRONTAGE:	0 HOURS	75 & 25 FEET
SIDE YARD:	0 HOURS	136 FEET MIN.
REAR YARD:	0 HOURS	288 FEET

ACTUAL

STREET FRONTAGE:	75 & 25 FEET
SIDE YARD:	136 FEET MIN.
REAR YARD:	288 FEET

CODES AND REQUIREMENTS

OCCUPANCY: F-1 (MOTOR VEHICLE)  
TYPE OF CONSTRUCTION: V-B MASONRY CONSTRUCTION, 22 FEET HIGH-ONE STORY  
BUILDING CODE STANDARDS: 2023 CBC, 2022 CBC, 2022 CFC, 2022 CMC, 2022 IFC, 2022 OFC, 2022 UBC  
2022 CALIFORNIA ENERGY CODE  
2022 CALGREEN  
LOCAL SAN BERNARDINO COUNTY CITY OF APPLE VALLEY DEVELOPMENT CODES  
ZONING: "SPECIFIC PLAN"

FIRE CODES:

Access onto the site and around structure shall comply with "AVFPD Standards"

SCOPE OF WORK

THIS APPLICATION IS FOR CONSTRUCTION 4,960 S.F SHOP FOR COMMERCIAL TRUCK AND TRANSPORT BUSINESS.  
DEFERRED SUBMITTALS  
PERIMETER FENCE WITH GATES TO ABIDE WITH A.V.F.P.D STANDARD SIGNAGE WILL BE SEPARATE REVIEW AND PERMITS.

SHEET INDEX

C-1	TITLE PAGE & PROJECT INFORMATION
C-2	SITE PLAN
A-1	FLOOR PLAN
A-2	EXTERIOR ELEVATIONS - ROOF PLAN AND SECTION
A-3	COLOR SOUTH ELEVATION
A-4	COLOR NORTH ELEVATION
A-5	COLOR WEST AND EAST ELEVATIONS
L-1	LANDSCAPE PLAN

LOCAL SERVICES	CONSULTANTS
<b>WATER / LIBERTY UTILITIES</b> 21760 OTTAWA Rd. APPLE VALLEY, CA 92308 PHONE: (760) 247-6484  <b>FIRE DEPARTMENTS</b> APPLE VALLEY FIRE PREVENTION DISTRICT 22400 HEADQUARTERS Dr. APPLE VALLEY, CA 92307 PHONE: (760) 247-7618  <b>VERIZON CALIFORNIA</b> PHONE: 1-800-483-4000	<b>PLANNING/BUILDING ENG.DEPTS</b> TOWN OF APPLE VALLEY 14955 DALE EVANS APPLE VALLEY, CA 92307 PHONE: (760) 240-7000  <b>SITE INSPECTION APPOINTMENTS</b> PHONE: (XXX) XXX-XXXX  <b>SOUTHERN CALIFORNIA EDISON</b> PHONE: 1-800-655-4555  <b>SOUTHERN CALIFORNIA GAS</b> PHONE: 1-800-427-2200
<b>DESIGNER NOTES</b> 1. THIS SET OF PLANS, PER CONTRACT WITH DESIGN MILL & ASSOCIATES, IS A BUILDERS SET OF PLANS. THIS MEANS THAT NOT ALL DETAILS AND SPECIFICATIONS ARE PROVIDED AND THE GENERAL CONTRACTOR AND SUBCONTRACTOR WILL BE REQUIRED TO HAVE GENERAL CONSTRUCTION KNOWLEDGE TO COMPLETE THE STRUCTURE. 2. ANY CHANGES OR DEVIATIONS FROM THESE PLANS WITHOUT WRITTEN CONSENT OF AN AUTHORIZED DESIGN MILL & ASSOCIATES EMPLOYEE RELEASES THE PROJECT DESIGNER FROM ANY LIABILITY FOR THE ENTIRE PROJECT. 3. (FS1) AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT WILL BE REQUIRED FOR ALL DEVELOPMENT PROJECTS, PRIOR TO BUILDING PERMIT FINAL APPROVAL THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN CALIFORNIA PUBLIC RESOURCES CODE 4291 AND CALIFORNIA GOVERNMENT CODE SECTION 51182. 4. THE OWNER AND OR GENERAL/FRAMING CONTRACTOR ARE RESPONSIBLE TO REVIEW AND VERIFY ALL SHEAR SCHEDULED FOR THIS PROJECT. ALL SHEAR NAILING, SIMPSON STRONG-WALLS, HARDY FRAMES AND ANY OTHER ALTERNATIVE SHEAR STRUCTURE ARE TO BE INSTALLED AND LOCATED PER PLANS. ANY INCONSISTENCIES OR NECESSARY STRUCTURAL CHANGES ARE TO BE ADDRESSED BY THE ENGINEER OF RECORD BEFORE MOVING FORWARD WITH THE PROJECT IN QUESTION. STRUCTURAL CHANGES MADE DURING CONSTRUCTION THAT ARE NOT REVIEWED BY THE ENGINEER OF RECORD ARE LEGALLY THE RESPONSIBILITY OF THE OWNERS AND OR CONTRACTORS INVOLVED.	<b>OWNER</b> Marvin Venegas 19258 Estancia Way Apple Valley, CA 92308 Phone: (760) 662-9513  <b>ENGINEERING OF RECORD</b> PAUL CROSBY, S.E. LEED, AP 444 N. BARRANCA AVE. # 5905 COVINA, CA, 91723 PHONE: (760) 383-3170  <b>GEOTECHNICAL ENGINEERING</b> PATEL & ASSOCIATE VICTORVILLE, CA. PHONE: (951) 427-7827  <b>DRAFTING &amp; PLANNING</b> DESIGN MILL, INC P.O. BOX 213 APPLE VALLEY, CA. 92307 PHONE: (760) 247-8727 FAX : (760) 247-XXXX  <b>SITE ENGINEERING</b> J.E.MILLER & ASSOC. 17995 HWY-18 SUITE 1 APPLE VALLEY, CA, 92307 PHONE: (760) 242-6777  <b>ELECTRICAL DESIGN</b> CONCEPT ELECTRICAL SOLUTION, Inc. 14427 ELMFORD LANE FOYAY, CA.92064  <b>MECHANICAL DESIGN &amp; TILE 24 ENERGY</b> KFP GROUP 16893 GLENNAIRE AVE. VICTORVILLE, CA 92395



STRUCTURAL ENGINEERING  
Paul Crosby S.E. LEED, AP  
440 N. BARRANCA AVE. # 5905  
COVINA, CA, 91723  
PH: (760) 383-3170

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DESIGN MILL, INC.  
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Apple Valley, CA 92307  
Phone (760) 247 8270  
e-mail: email2benson@yahoo.com

CENTURION TRANSPORT

Waalew Road  
Apple Valley, CA  
APN: 463-396-08

NO	REVISION	SUBMISSION	DATE

OWNER / CLIENT  
Marvin Venegas  
19258 Estancia Way  
Apple Valley, CA. 92308  
PH. (760) 662-9513

PROJECT LOCATION  
Waalew Road  
APPLE VALLEY, CA. 92307

DRAWING TITLE

LOT DESCRIPTION:  
Track # 3787  
Lot # 90

DRAW JJ  
SCALE 1" = 30'-0"  
JOB No  
DATE 04-12-2025  
CHECK

C-1  
SHEET

S T A M P

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**CENTURION TRANSPORT**  
 Waalew Road  
 Apple Valley, CA  
 APN: 463-396-09

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 Marvin Venegas  
 19258 Estancia Way  
 Apple Valley, CA, 92308  
 PH. (760) 662-9513

PROJECT LOCATION  
 Waalew Road  
 APPLE VALLEY, CA, 92307

DRAWING TITLE  
 FLOOR PLAN &  
 ROOF FRAMING PLAN

LOT DESCRIPTION:  
 Track # 3787  
 Lot # 90

DRAWN JJ  
 SCALE 1/8" = 1'-0"  
 JOB No

DATE 04-12-2025

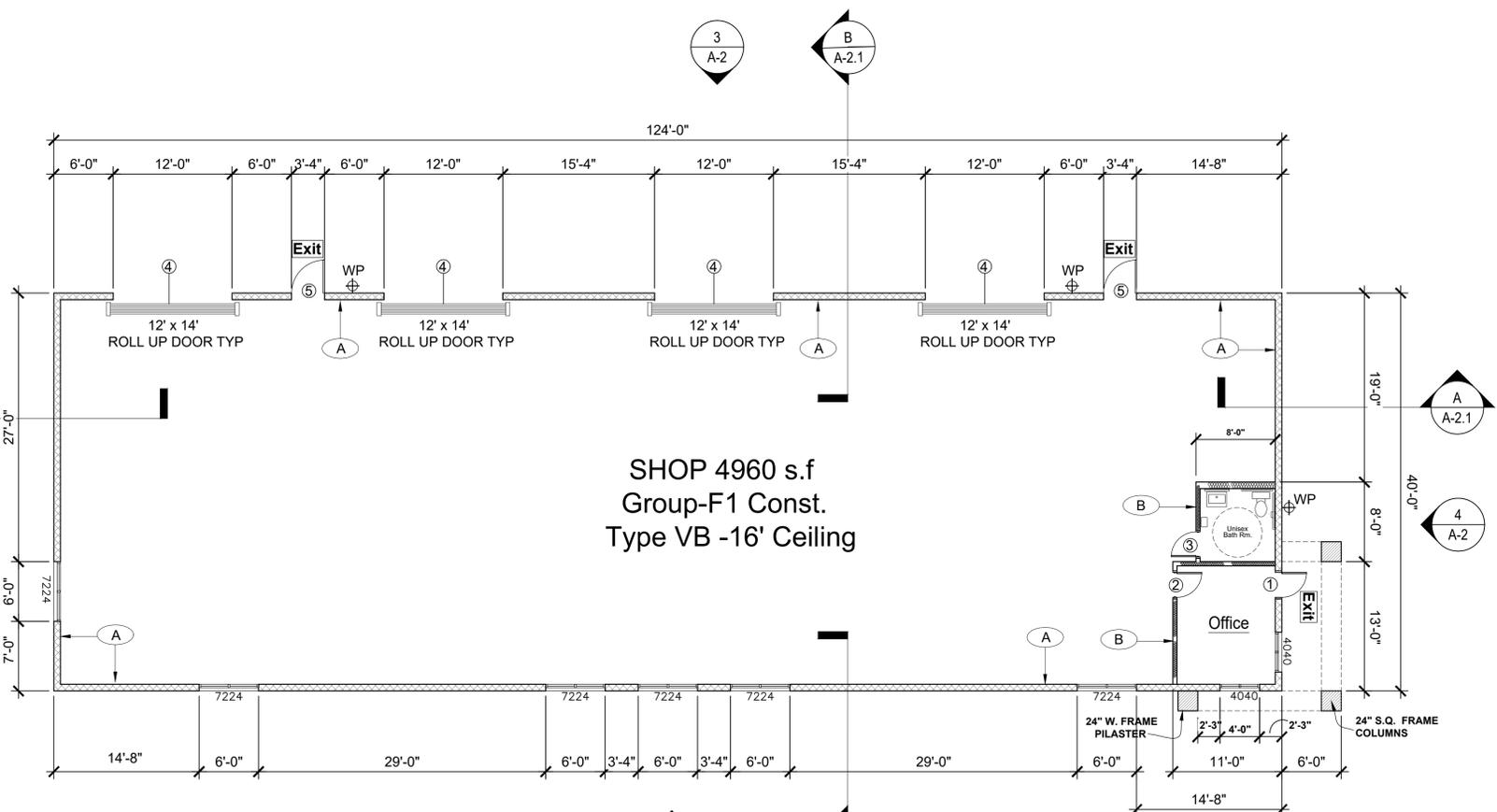
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A-1

S H E E T



**ROOF FRAMING PLAN**  
 SCALE: 1/8" = 1'-0"



**FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**Interior Material & Finish Schedule**

WALL KEY	Item	Description
	(A)	EXTERIOR CONCRETE BLOCK 8" x 8" x 16" Concrete Block
	(B)	INTERIOR WALL, NEW 1 1/2" X 3 5/8" STEEL STUDS AT 16" O.C. SHEATH 5/8" GYP. BOARD, R-11 SOUND BATT, NON RATED
WP ⊕	--	WALL PACK - LED - NIGHT SKY COMPLIANT

**DOOR SCHEDULE**

Qty.	Tag	Door Location	Size	Thk	Type	Rating	Thresh.	Jamb.	Hardware	Remarks
-	①	Exterior To Office	3070	1 3/4"	None	None	Glass 1/2" Max.	Metal	Push - Pull Key Lock	Self Closing
-	②	Interior To Office	3070	1 3/4"	None	None	Metal 1/2" Max.	Metal	Key Lock lever	Self Closing
-	③	W.H To Bathroom	3070	1 3/4"	None	None	Metal 1/2" Max.	Metal	Coat Hooks On Doors Lever	Self Closing
-	④	Shop To Exterior	12' Wide x 14' High		None	None			Metal OverHead Door	
-	⑤	Exterior to Shop	3070	1 3/4"	None	None	Metal 1/2" Max.	Metal	Lever	Self Closing

Note: Max. Force To Operate Doors Is Limited To 15 Lb. Interior Finish Materials Applied to Wall and Ceiling. Shall Be Tested As Specified in Section CBC 803. All Exit to be Openable From the Inside Without the Use of a Key or Any Special Knowledge or Effort.  
 A Durable Sign ( 1" high Letters ) Shall be Placed Over Main Exit - Entry Door " This Door to Remain Unlocked During Business Hours. "

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 P.O. BOX 213  
 Apple Valley, CA 92307  
 Phone (760) 247-8270  
 e-mail: email2benson@yahoo.com

CENTURION TRANSPORT  
 Waalew Road  
 Apple Valley, CA  
 APN: 463-396-09

REVISION	DATE
No	

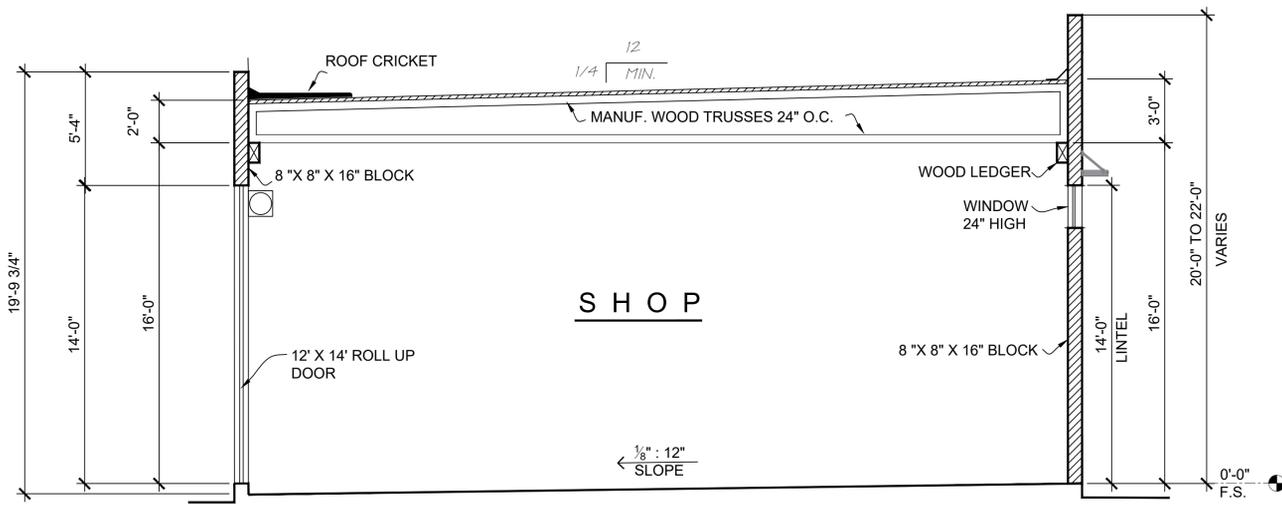
OWNER / CLIENT  
 Marvin Venegas  
 19258 Estancia Way  
 Apple Valley, CA. 92308  
 PH. (760) 662-9513

PROJECT LOCATION  
 Waalew Road  
 APPLE VALLEY, CA. 92307

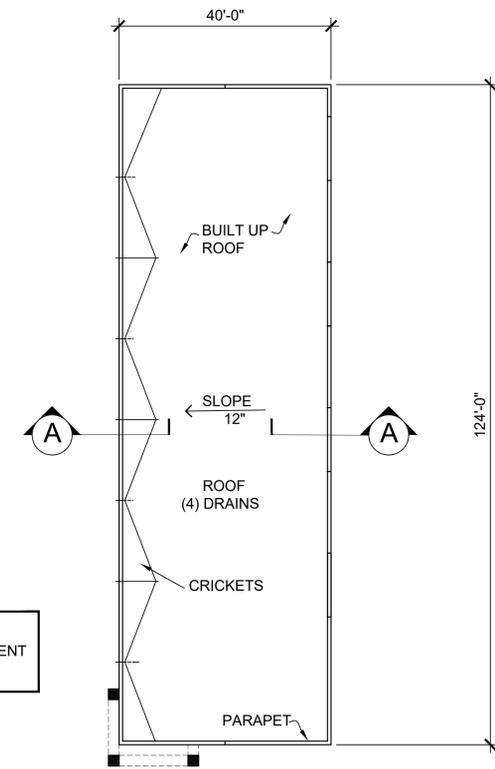
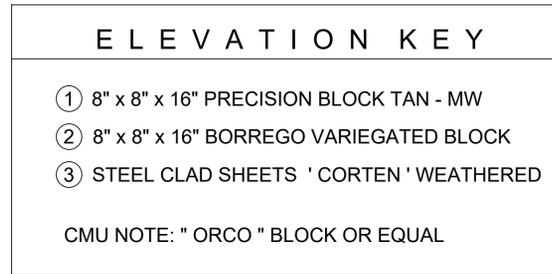
DRAWING TITLE  
 ELEVATIONS - ROOF PLAN & SECTION

LOT DESCRIPTION:  
 Track # 3787  
 Lot # 90

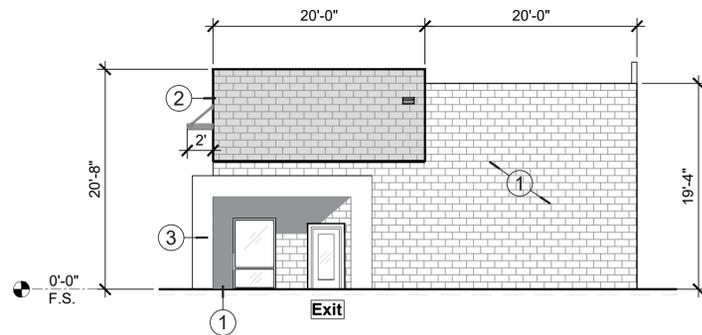
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 SCALE 1/8" = 1'-0"  
 JOB No  
 DATE 04-12-2025  
 CHECK



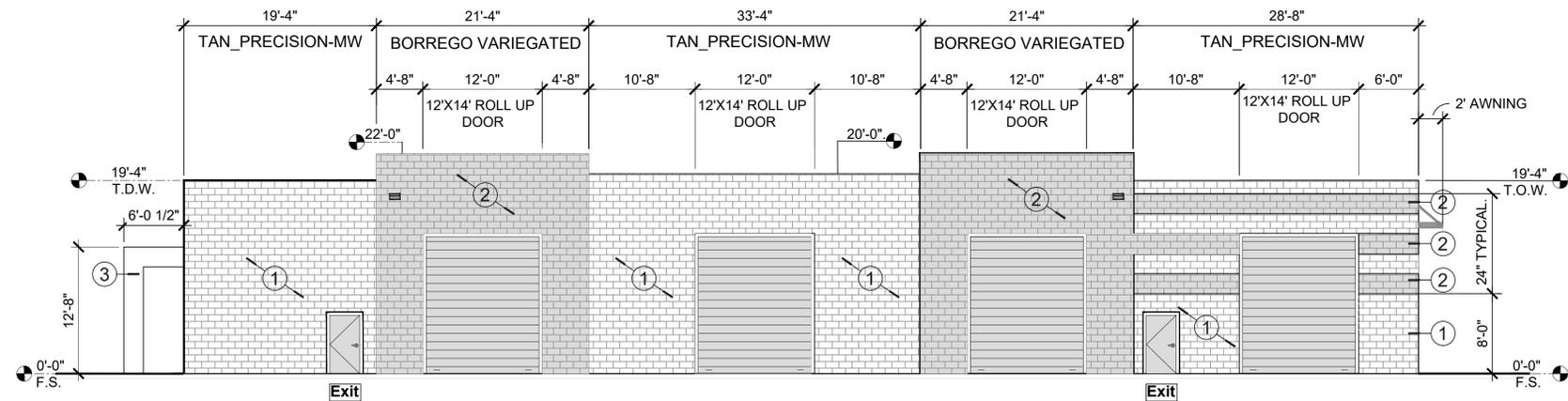
SECTION A - A  
 SCALE: 1/4" = 1'-0" 5



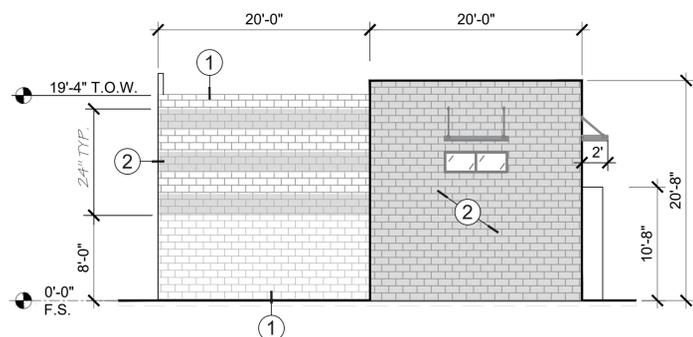
ROOF PLAN  
 SCALE: 1/16" = 1'-0" 6



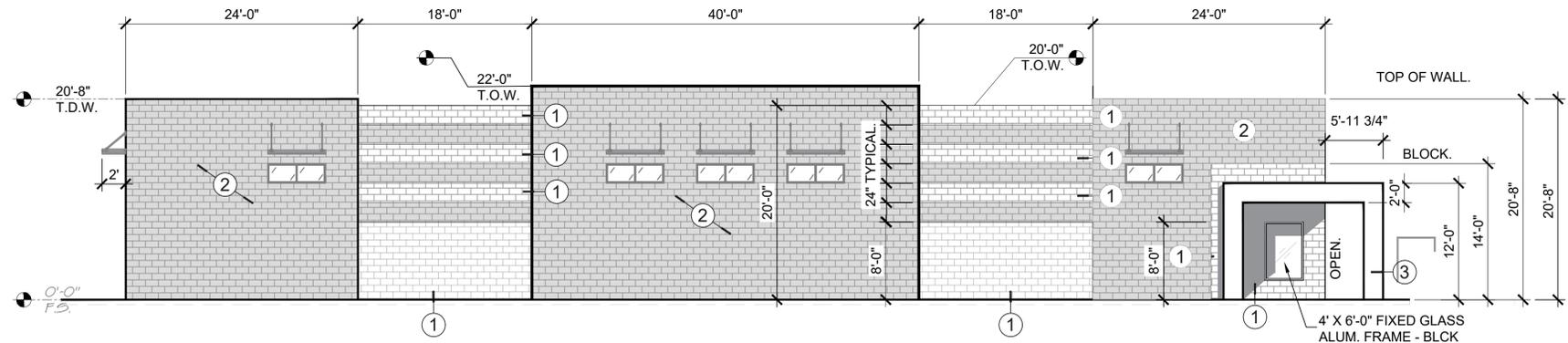
EAST ELEVATION  
 SCALE: 1/8" = 1'-0" 4



NORTH ELEVATION  
 SCALE: 1/8" = 1'-0" 1



WEST ELEVATION  
 SCALE: 1/8" = 1'-0" 3



SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0" 2

STRUCTURAL ENGINEERING:  
 Paul Crosby S.E. LEED, AP  
 440 N. BARRANCA AVE. # 5905  
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 PH: (760) 383-3170

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CENTURION TRANSPORT

Waalew Road  
 Apple Valley, CA  
 APN: 463-396-09



PRECISION TAN-MW

STEEL CLAD SHEETS  
 'CORTEN' WEATHERED

S O U T H E L E V A T I O N 2  
 N.T.S

NO	REVISION	SUBMISSION	DATE

OWNER / CLIENT  
 Marvin Venegas  
 19258 Estancia Way  
 Apple Valley, CA, 92308  
 PH. (760) 662-9513

PROJECT LOCATION  
 Waalew Road  
 APPLE VALLEY, CA, 92307

DRAWING TITLE  
 COLOR SOUTH ELEVATION

LOT DESCRIPTION:  
 Track # 3787  
 Lot # 90

DRAW JJ  
 SCALE N.T.S  
 JOB No  
 DATE 04-12-2025  
 CHECK

A-3  
 S H E E T

S T A M P

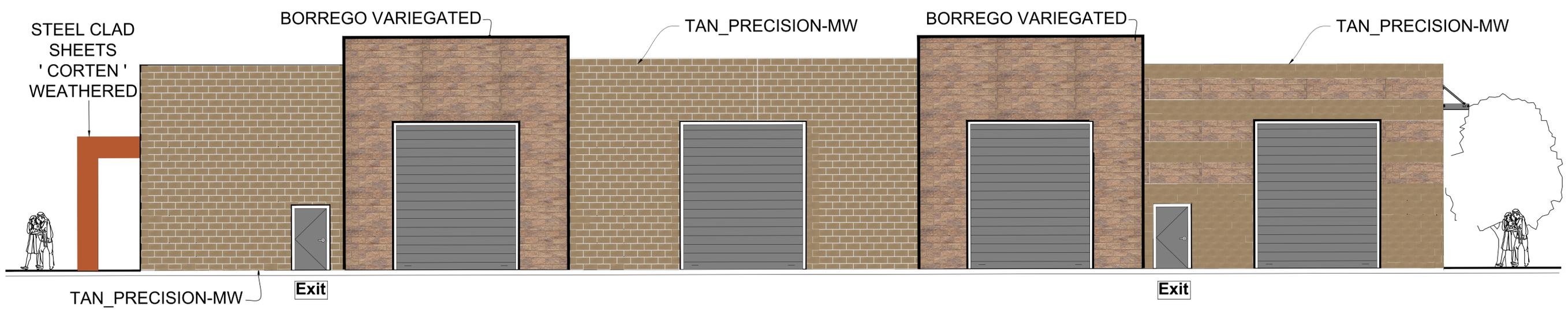
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CENTURION TRANSPORT

Waalaw Road  
 Apple Valley, CA  
 APN: 463-396-09



N O R T H E L E V A T I O N 1  
 N.T.S

REVISION	SUBMISSION	DATE
No		

OWNER / CLIENT  
 Marvin Venegas  
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 Apple Valley, CA, 92308  
 PH. (760) 662-9513

PROJECT LOCATION  
 Waalaw Road  
 APPLE VALLEY, CA, 92307

DRAWING TITLE  
 COLOR NORTH ELEVATION

LOT DESCRIPTION:  
 Track # 3787  
 Lot # 90

DRAW JJ  
 SCALE N.T.S  
 JOB No  
 DATE 04-12-2025  
 CHECK

S T A M P

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CENTURION TRANSPORT

Waalw Road  
 Apple Valley, CA  
 APN: 463-396-09

DATE	REVISION	SUBMISSION

OWNER / CLIENT  
 Marvin Venegas  
 19258 Estancia Way  
 Apple Valley, CA. 92308  
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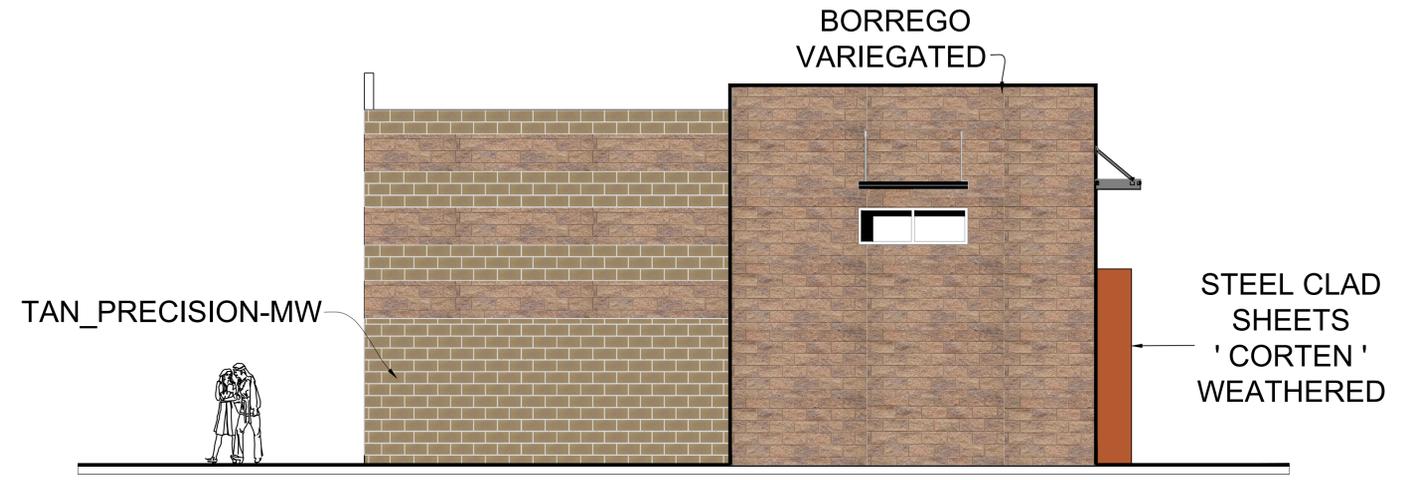
PROJECT LOCATION  
 Waalw Road  
 APPLE VALLEY, CA. 92307

DRAWING TITLE  
 COLOR WEST AND  
 EAST ELEVATIONS

LOT DESCRIPTION:  
 Tract # 3787  
 Lot # 90

DRAW JJ  
 SCALE N.T.S  
 JOB No  
 DATE 04-12-2025  
 CHECK

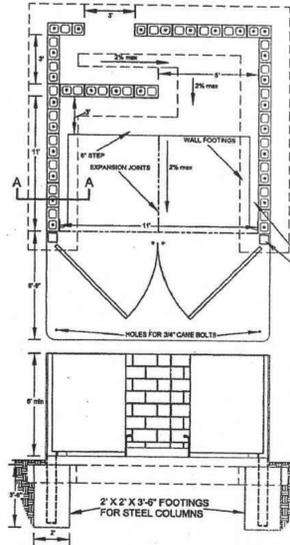
**A-5**  
 S H E E T



WEST ELEVATION 3  
 N.T.S.



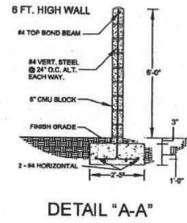
EAST ELEVATION 4  
 N.T.S.



- 1) Walls are to be of decorative block, masonry, or similar materials consistent with the architecture, color and accent materials of the primary building
- 2) Gates are to be solid metal construction
- 3) Swivel points on doors shall be located outside of the opening area of the enclosure
- 4) Swivel points shall be attached to concrete filled steel posts/columns at ends of walls
- 5) Enclosure shall be on a level pad at ground level. The area between the pad and the pick-up area shall be a paved area 4" deep for the width of the enclosure and shall not exceed a grade of 2%

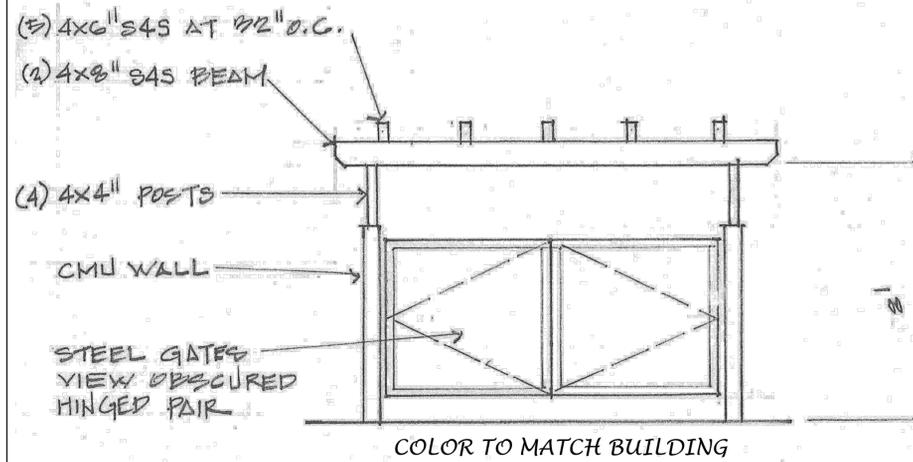
6" x 6" curb around interior of trash enclosure  
1# 6 x 6" steel post/column

Wall Notes:  
 1) 6" min. CMU Block  
 2) All rebar to be #4 min.  
 3) Lap all rebar min 20"  
 4) Min 3" from rebar to earth  
 5) Grout all cells containing rebar  
 6) 3" cover of earth from top of footing



WALL FOOTINGS

DETAIL "A-A"



(5) 4x6" S4S AT 24" O.C.

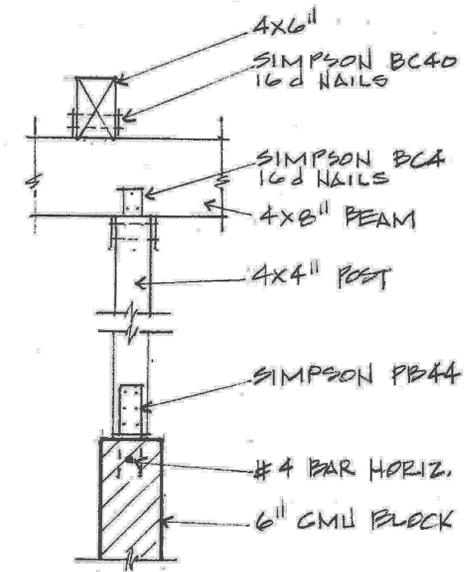
(2) 4x8" S4S BEAM

(4) 4x4" POSTS

CMU WALL

STEEL GATES  
VIEW OBSCURED  
HINGED PAIR

COLOR TO MATCH BUILDING



4x6"  
SIMPSON BC40  
16d NAILS

SIMPSON BCA  
16d NAILS  
4x8" BEAM

4x4" POST

SIMPSON PB44

#4 BAR HORIZ.

6" CMU BLOCK

1 TRASH ENCLOSURE STANDARD

2 TRASH ENCLOSURE COVER

3 ENCLOSURE DETAIL

STRUCTURAL ENGINEERING

Paul Crosby S.E. LEED, AP  
440 N. BARRANCA AVE. # 5905  
COVINA, CA, 91723  
PH: (760) 383-3170

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CENTURION TRANSPORT

Waalew Road  
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APN: 463-396-09

NO	REVISION	SUBMISSION	DATE

OWNER / CLIENT  
Marvin Venegas  
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PH: (760) 662-9513

PROJECT LOCATION  
Waalew Road  
APPLE VALLEY, CA, 92307

DRAWING TITLE  
SITE DETAILS

LOT DESCRIPTION:  
Track # 3787  
Lot # 90

DRAW JJ  
SCALE 1/8" = 1'-0"  
JOB No  
DATE 04-12-2025  
CHECK

C-2  
SHEET

STAMP

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**CENTURION TRANSPORT**  
Wattlew Road  
Apple Valley, CA  
APN: 463-396-08  
Call: (951) 666-6666  
PH: (951) 426-8837

REVISION	SUBMISSION	DATE
1	4-19-2024	
2	1-21-2025	

OWNER / CLIENT  
Marvin Venegas  
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Apple Valley, CA 92308  
PH: (760) 686-4004

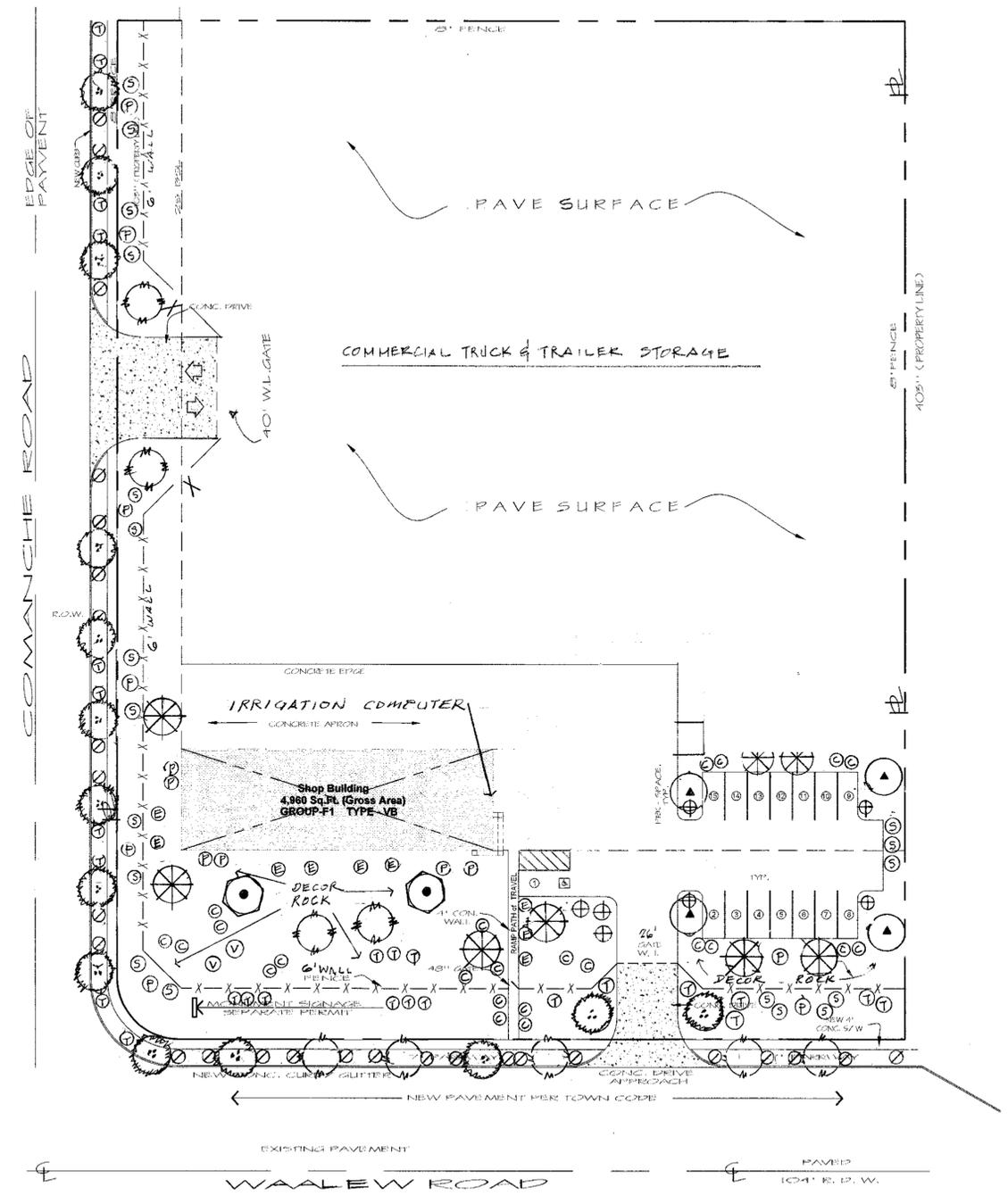
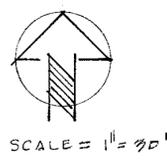
PROJECT LOCATION  
Wattlew Road  
APPLE VALLEY, CA 92307

DRAWING TITLE

LOT DESCRIPTION:  
Track # 3787  
Lot # 90

DRAW JJ  
SCALE 1" = 30'-0"  
JOB No  
DATE 12-12-2022  
CHECK

L-1  
SHEET



- | SHRUBS (5 Gallon minimum)                                 | TREES (24" Box minimum)              |
|---|--------------------------------------|
| ○ SAGE<br>SALVIA Species                                  | ⊙ SILK TREE<br>ALBIZIA               |
| ⊕ DWARF TEXAS RANGER<br>LEUCOPHYLLUM FRUTEESCENS COMPACTA | ⊙ ARIZONA ASH<br>FRAXINUS VELUTINA   |
| ⊕ COTONEASTER<br>COTONEASTER Species                      | ⊙ PALO VERDE<br>PARKINSONIA ACULATA  |
| ⊕ JOJOBA<br>SIMMONDSIA CHINENSIS                          | ⊙ CHINESE ELM<br>ULMUS PARVIFOLIA    |
| ⊕ SUGAR BUSH<br>RHUS OVATA                                | ⊙ CALIFORNIA SYCAMORE<br>R. PACEMOSA |
| ⊕ DESERT WILLOW<br>CHILOPSIS LINEARIS                     |                                      |
| ⊕ ROSEMARY<br>ROSMARINUS OFFICINALIS                      |                                      |
| ⊕ WAX LEAF PRIVET<br>LIGUSTRUM TEXANUM                    |                                      |
| ⊕ MATILIA POPPY<br>ROMNEYA COULTERI                       |                                      |

**TOWN LANDSCAPE REQUIREMENTS**

DESIGNED XERISCAPE, DROUGHT RESISTANT, NATIVE TYPE PLANTS PER TOWN CODE CHAP. 9.75. & N.A.V.C.P.

LOW WATER USE, DRIP SYSTEM CONTROLLED BY TIMER/COMPUTER.

MINIMIZE REMOVAL OF NATIVE VEGETATION.

ALL NEW SHRUBS AND TREES SHALL EACH HAVE DRIP EMITTERS, VALVE CONTROLLED.

GRAVEL. IN ALL PLANTERS EXCEPT LAWN OR GROUND COVER AREAS. 3/8" CRACKED GRANITE. TAN COLOR. 2" DEEP MINIMUM.

**CONCEPTUAL LANDSCAPE PLAN**

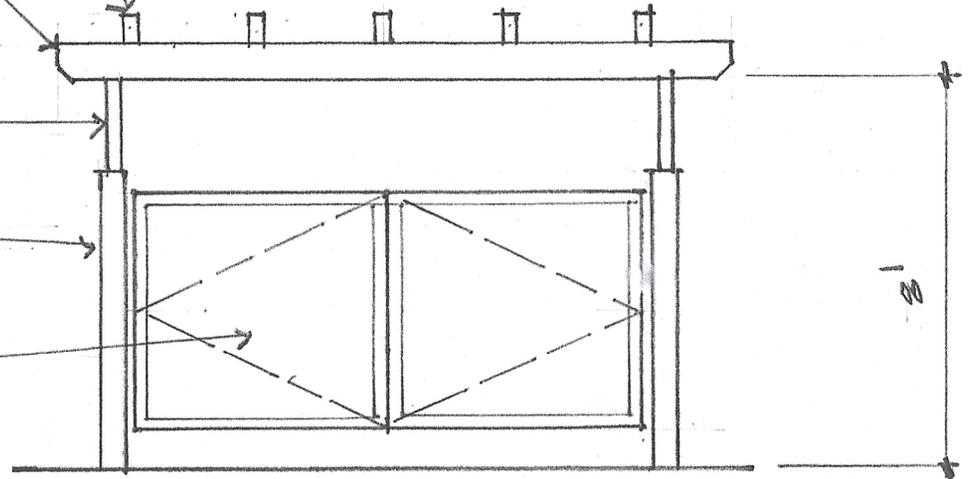
(5) 4x6" S4S AT 32" O.C.

(2) 4x8" S4S BEAM

(4) 4x4" POSTS

CMU WALL

STEEL GATES  
VIEW OBSCURED  
HINGED PAIR



TRASH ENCLOSURE COVER  
COLORS TO MATCH BUILDING