

## **Chapter V.**

# **PUBLIC SERVICES AND FACILITIES**

## **PUBLIC BUILDINGS AND FACILITIES ELEMENT**

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### **PURPOSE**

The Town of Apple Valley has a range of public buildings and facilities, including the Town Hall, fire and police stations, schools and libraries, parks and community centers. These also include utilities and associated facilities such as electrical power substations, telephone and cable transmission lines, domestic water wells and reservoirs, and wastewater treatment facilities. These public and quasi-public facilities are built to accommodate the community's needs and constitute an important part of its quality of life.

Town-owned and utility maintenance yards and facilities, roadways, traffic signals and bridges are also included in this category. The Town's advance planning process must provide for timely provision of these facilities in order to ensure that the needs of existing and future development are met. Some of these facilities, especially utilities, are key factors in determining timing, location and intensity of future development. This Element shows the location of most of these facilities on the General Plan map.

The Public Buildings and Facilities Element reflects the state of available technological and organization resources, and describes the various structures and facilities owned by public and quasi-public agencies in the Town. It further reviews them in relationship to land use compatibility issues, aesthetic impacts, and functionality in order to provide sufficient information for these agencies to adequately coordinate planning and development. This Element also establishes goals, policies, and programs to address the long-term planning needs of the Town.

### **BACKGROUND**

The Public Buildings and Facilities Element is directly related to several other General Plan elements. The Land Use Element assigns land use designations to ensure that the Town has adequate and optimally planned lands for existing and future public buildings and facilities. The Circulation Element is intended to ensure the provision of safe, efficient transportation corridors throughout the Town and especially to essential public facilities. The local and regional economies directly impact and are impacted by the ability of the Town and other responsible public and quasi-public agencies charged with providing necessary facilities to do so.

Government Code Section 65103(c) requires that each local government conduct an annual review of its capital improvement program, as well as the other local agencies' public works projects to ensure coordination between and consistency with the General Plan.

Public buildings and facilities are sited within the community based largely on their function. Nonetheless, the logical and sensitive integration of these facilities into the Town's existing and planned land use patterns must also be considered. Convenient and safe access, provision of adequate parking, and other considerations must be accounted for when siting public buildings

that serve as offices for residents and Town staff to conduct business. The following discussion focuses primarily on public buildings and facilities; however, utilities such as electrical substations, water wells, and others are also considered in relation to their compatibility with surrounding land uses.

The locations of public buildings and facilities are illustrated on Exhibit V-1, Public Buildings and Facilities Map North and Exhibit V-2, Public Buildings and Facilities Map South.

### **City Hall and Associated Facilities**

The Town of Apple Valley Civic Center is located at 14955 Dale Evans Parkway. The Civic Center campus is approximately 6.03 acres and includes the Town Hall, the Civic Center Park, Town Hall Recreation Center and Aquatic Center, Apple Valley Police Department, and the Newton T. Bass Branch Library of San Bernardino County; these facilities are discussed further, below. The Town Hall was constructed in 2002 and encompasses approximately 27,900 square feet. There is also an outdoor amphitheatre that seats 1,000. A new Town Hall annex has been designed and is currently (2008) in the construction-bidding phase, with completion expected in 2009. The new annex will be located on 2± acres adjacent to existing facilities and will provide additional administrative space for Town departments that are currently overcrowded. The new building will incorporate numerous green-building features, including materials and orientation to better utilize natural light.



### **Town Public Works Yard**

Currently (2008) located at 22411 South Outer Highway 18, the Town Public Works Yard encompasses an approximately 1.5-acre parcel. The yard was constructed in 1975 and houses the Public Works offices, storage and yard, and the animal control offices and animal shelter. The Town Hazardous Waste Collection Center is also located at the Yard. The main office is approximately 2,356 square feet, with an additional 5,726 square feet of warehouse space. The animal control facility currently encompasses 8,000± square feet, with 3,000 square feet of office space and 5,000 feet of animal shelter facilities.

The Town plans on relocating and expanding the Public Works Yard, to 13450 Nomwacket Road. The Town purchased this developed site in 2008. The potential expansion would result in an approximate tripling of currently available space. The Town plans to re-locate the animal shelter to an approximately 5-acre site on the southeast corner of Quinnault Road and Powhatan Road, with an estimated construction completion date of July 2009. The animal shelter and ancillary offices will be constructed on the northern 2 acres of the site and the future public works yard and storage will occupy the southern 3 acres of the site. The southern 3 acres is directly west of the newly acquired Public Works facility.

### Community Center

The James Woody Community Center is located at 13467 Navajo Road on approximately 22 acres, which are fully developed. The 28,676 square foot facility includes a full-sized gymnasium and a mini-gym, as well as an enclosed racquetball court, and a maintenance shop. Other facilities on-site include a batting cage and practice ball fields, five lighted ball fields for Little League, youth soccer, flag football and adult softball leagues, and two concession stands. The park also provides an equipped playground and a grassed park area with trees, picnic tables and barbecues, as well as paved parking areas and restrooms.

### Chamber of Commerce

The Apple Valley Chamber of Commerce is located at 16010 Apple Valley Road. The Chamber was established in 1948 as the Businessman's Association, changing to its present name in 1951. The Chamber moved to its current location in the B. J. Westlund building in the Spirit River Center in 2000. The 3,000 square foot facility provides the Chamber with state-of-the-art technological capabilities. The Chamber is committed to providing education and training to business owners through which it aims to improve the local economy.

### Fire Stations

The Apple Valley Fire Protection District serves the Town of Apple Valley as well as other high desert communities, including those portions of unincorporated San Bernardino County that are within its approximately 206-square mile service area. The AVFPD maintains a mutual aid agreement with the City of Victorville Fire Department, San Bernardino County Fire Department, and the Bureau of Land Management. The mutual aid agreements provide a mechanism for coordinated strategic and facilities planning between fire departments in the region to actively support one another regardless of geographic or jurisdictional boundaries. A joint dispatch center is located in Victorville that serves the mutual aid agencies.

AVFPD maintains and is responsible for staffing seven fire stations in Apple Valley. Of these, five are staffed 24-hours per day, seven days per week. Another fire station is staffed on an as-needed basis by on-call firefighters, and the seventh station is staffed entirely by private ambulance company personnel. The Police and Fire Protection Element lists these stations and their associated staffing and equipment. Station locations are shown on the two Public Buildings and Facilities Maps (Exhibits V-1 and V-2).



An eighth fire station is being considered on approximately 12 acres at the northeast corner of Johnson Road and Navajo Road. The Wal-Mart Corporation, which owns the Wal-Mart Distribution Center in North Apple Valley, donated the site to the Town. If developed, the new

station is expected to house fire training classes, which would be relocated from Victor Valley College.

#### Police Stations

Police services are provided to the Town of Apple Valley through a contractual agreement with the San Bernardino County Sheriff's Department. The Sheriff's Department assigns staff to the Apple Valley Police Department within the approximately 72 square miles that are encompassed by the Town's corporate limits. The Sheriff's Department also serves unincorporated areas in the vicinity of Apple Valley, including the Town's Sphere of Influence.

The Apple Valley Police Department is located in the Apple Valley Civic Center at 14931 Dale Evans Parkway in Apple Valley. There is also an un-staffed sub-station used for report writing and other administrative tasks, which is located at 21989 Outer State Highway 18.

#### **Educational Facilities (Schools)**

The Apple Valley Unified School District (AVUSD) provides public education for grades Kindergarten through 12<sup>th</sup> grade to the Town. Currently (2008) the District's facilities include nine elementary schools, three middle schools, two high schools and a continuation school. There is one magnet school, one charter school with two campuses, and an alternative education center, which also hosts an adult education program.

The AVUSD elementary schools are Desert Knolls, Mariana, Mojave Mesa, Rancho Verde, Rio Vista, Sandia, Sitting Bull, Sycamore Rocks, and Yucca Loma. The middle schools are Apple Valley, Sitting Bull (adjacent to Sitting Bull Elementary), and



Vista Campana. The high school and continuation school facilities include the Apple Valley, Granite Hills and Willow Park campuses. Other public school facilities are the Vanguard Preparatory School (magnet), the Lewis Center/Alternative Education Center K-2 and grades 3-12 campuses, and the Alternative Education Center.

There are currently (2008) no County-operated special education facilities in Apple Valley, although the County serves special education students at existing AVUSD facilities. The County plans to construct three facilities by 2010. These include two early education centers, one of which will provide state-mandated medical-therapy services for special needs students, and one campus for junior high and high school special needs students. These facilities will primarily serve students within the AVUSD but may also provide services for students from the region outside those boundaries.

Private educational facilities in Apple Valley include the Apple Valley Child Care Center, Apple Valley Christian School, Valley Christian School, Apple Valley Private School Learning Center, Apple Valley Village School, High Desert Haven, St. Timothy's Episcopal School, St. Mary's Regional Catholic School and Mojave Christian School.

### **Colleges and Universities**

Victor Valley College is a community college with approximately 11,000 students at its campus in Victorville. In Apple Valley, the University of Redlands offers college-level classes at the Mana Road campus of the Academy for Academic Excellence, an AVUSD charter school serving grades 3 through 12 (also see Schools and Libraries Element). The Academy is also exploring development of a four-year math and science teaching college on the same campus, which would partner with other colleges and universities in the region. This is further discussed in the Schools and Libraries Element.

### **Libraries**

The Newton T. Bass Apple Valley Library is located adjacent to Town Hall. It is a 19,142 square foot facility that was funded through joint local, county and state efforts. It is part of the San Bernardino County library system and offers a variety of programs and resources to serve the community. The library contains over 20,000 books in its on-site collection. Other resources include books on tape and CD and large-print books. The library offers access to 23 computers to library users, and has two study rooms. Library facilities serving the Town are further discussed in the Schools and Libraries Element.

### **Parks and Recreation**

The Apple Valley Town Council serves as the Board of Directors for the Apple Valley Parks and Recreation District. Existing park and recreation facilities within the Town and its Sphere of Influence include seven Mini-Parks, two Neighborhood Parks, three Community Parks and two Special Use Parks. Parks in Apple Valley offer a variety of facilities ranging in size and location, providing equipped play lots and covered picnic shelters at smaller parks. Facilities also include lighted ball fields and indoor gymnasiums at the Community Center, horseshoe courts at Brewster Park and equestrian facilities at Horsemen's Center Park. Park amenities are described in detail in the Parks and Recreation Element and their locations are shown on Exhibit II-12: Public Parks and Recreation Areas in the Community Development Chapter.

The Town has taken advantage of opportunities for joint use and land use efficiency by locating parks adjacent to other public facilities. School/park joint uses include the Yucca Loma Park, adjacent to Yucca Loma Elementary School; Mendel Park, adjacent to Mariana Elementary School and AVFPD Fire Station No. 335; and Sycamore Rocks Park, adjacent to Sycamore Rocks Elementary School. The Civic Center Park and Recreation Center adjacent to Town Hall offer an outdoor amphitheatre, tennis courts, volleyball court, dog park, meeting rooms, and programmed class offerings, and an Aquatic Center with a 25-meter pool and locker facilities.



The Town has announced its intention to purchase the Apple Valley Country Club, pending resolution of water rights issues. The Country Club is a 148.8 acre facility with a variety of recreational facilities, which are further described in the Parks and Recreation Element.

There are two park facilities proposed through approved Specific Plans in the Town and its Sphere of Influence, totaling approximately 65 acres. The Town has identified but not yet developed another 27 acres for park use. The Town has identified a total of approximately 438.8 acres for parklands, including existing and planned facilities.

The Town has also begun development of a system of bike paths, including an off-road (Class 1 bicycle) path along a portion of Apple Valley Road, and plans to provide safe bicycle access to all school sites. The Town has also planned for future development of a system of hiking and equestrian trails.

### **Other Public Facilities**

#### U.S. Post Office

There are two U.S. Post Office locations in Apple Valley. The main post office is located at 22099 Highway 18. U.S. Postal Station 308 is located at 18152 US Highway 18.



#### Airport

The Apple Valley Airport is a general aviation airport located at 21600 Corwin Road, in the northern portion of the City that serves fixed wing and helicopters. The airport contains two box hangars, two rectangular hangars for multiple aircraft, and seven sets of T-hangars. There are also 60 stationary “portaport” hangars

owned by private pilots. The airport serves mainly small, private aircraft. The California Highway Patrol and San Bernardino Sheriff’s Department share a hangar. There are 50 tie-downs and two runways: Runway 18/36 is approximately 6,500 feet long and 150 feet wide; Runway 8/26 is approximately 4,100 feet long and 60 feet wide. The Apple Valley Airport is further discussed in the Circulation Element.

#### Hospitals and Other Medical Facilities

St. Mary Medical Center is located at 18300 Highway 18 in Apple Valley. The approximately 90-acre campus provides acute, general medical-surgical and intensive care, and includes a 24-hour emergency room as



well as a variety of other in and outpatient medical services. The current (2008) facilities, including offices, encompass approximately 215,000 square feet. The hospital is currently designated as a Level III trauma care center, which is the lowest level of trauma care. Near-term (5-year) plans include construction of new acute care facilities with the intention of attaining Level I trauma care status. The hospital has also purchased lands in Victorville and plans to break ground for facilities there within approximately 3 years. The hospital maintains back-up facilities, such as diesel-powered generators and food and water stockpiles, as well as a decontamination tent. The hospital's role as a critical facility in the event of an emergency is further discussed in the Emergency Preparedness Element.

Other medical facilities in Apple Valley include the following:

Choice Medical Group is a physicians' network with medical and administrative offices located at 18564 Highway 18. Choice offers family and general practice, pediatric and internal medical services to the high desert communities of Apple Valley, Victorville, Hesperia, Oak Hills, Phelan, Barstow, Adelanto and surrounding vicinities.

Formula Medical Group is a family practice group located at 18182 Outer Highway 18, near St. Mary Medical Center. It provides primary care medical services for all ages, with referrals to specialists as needed. Formula accepts most private medical insurance and Medicare.

All Points Medical Group, formerly Guardian Medical Group, located at 16017 Tuscola Road in Apple Valley, offers family practice, internal medicine and pediatric medical services. Guardian also has an office in Victorville. Guardian physicians in Apple Valley are affiliated with St. Mary Medical Center. All Points accepts patients most private medical insurance.

There is one urgent care center in Apple Valley. Dr. Mike's Walk-In Clinic at 12413 Navajo Road is affiliated with the Choice Medical Group. It is open from 7:30 a.m. to 8 p.m. seven days a week. Urgent care offices are also located in surrounding communities including Victorville and Hesperia.

Psychiatric and rehabilitation facilities are available to high desert residents, with a limited number located in Apple Valley. The Desert Behavioral Health is a private family counseling/behavioral health services practice located at 16195 Siskiyou Road in Apple Valley. It serves individuals, families, children and couples. The practice offers groups and classes in anger management, parenting, ADHD, social skills and divorce recovery for children. Some Spanish-language classes are offered. The practice accepts most private medical insurance.

The County of San Bernardino operates the High Desert Juvenile Detention and Assessment Center (HDJDAC) at 21101 Dale Evans Parkway. The Center opened in 2004. The 200-bed facility provides housing and special programs in the short-term (generally less than 30 days) for offenders under age 18, pending their hearing before a judge. Programs include on-site public school classes administered by the County, the Aggression Replacement Therapy (ART) program, athletics and other special activities.



There are several residential senior care facilities in the Town, which provide services ranging from independent to assisted living facilities to skilled nursing care. There are also a number of facilities offering care to persons with Alzheimer's or other forms of dementia.

#### Utility Infrastructure

Utility services are provided to the Town by a variety of service providers. The Town maintains a system of wastewater collection lines that connect to interceptor lines owned and maintained by the Victor Valley Wastewater Reclamation Authority as part of a joint powers agreement. There are several domestic water purveyors. Apple Valley Ranchos Water Company is the primary water service/facilities provider to the Town and its Sphere of Influence, with over 19,000 service connections. Golden State Water Company provides services to approximately 2,509 active connections in Apple Valley. There are several other smaller water purveyors, as discussed in the Water Resources Element and the Water, Wastewater and Utilities Element.

Southern California Edison provides electrical service to the Town. There are four major electric transmission corridors in the region from which electrical power is distributed to substations via 115kV lines. SCE has three substations in the Town, with voltages ranging from 3kV to 115kV. Power from these substations is distributed to local residential, business, industrial and institutional customers via 33kV to 6.9kV distribution facilities and circuits. As new electric lines are added, those of 34.5kV or less are undergrounded.

Natural gas is delivered to the most portions of the Town and its Sphere of Influence by Southwest Gas Company facilities. Other utility and service providers include Verizon, Charter Communications, and Burttec. Apple Valley Ranchos Water Company has over 20 well sites and several elevated storage reservoirs, as well as booster pumps and pressure-reducing stations. Many other major utility buildings and facilities, such as the regional wastewater treatment facility, are located outside of Apple Valley. These are further described in the Water, Wastewater and Utilities Element.

The scenic value and noise environment of an area may be impacted by the operation of such utility facilities as well, reservoirs, pumping facilities, and electrical substations and switching facilities. Design of these structures can incorporate landscaping and architectural elements and treatments that soften and help harmonize these facilities with the surrounding environment. Such improvements may include visual and sound barriers, such as block walls and landscape buffers to further minimize potential impacts. The use of architectural styles and colors that are consistent with the local environment is also important to ensure compatibility with surrounding land uses and the natural setting. Visual impacts can also be avoided through undergrounding of transmission lines, where feasible.

#### Stormwater Management Facilities

The Town maintains local stormwater management facilities, which include a series of lined and unlined drainage channels located throughout the Town and its Sphere of Influence. The Town's Master Plan of Drainage divides the Town into subareas based on hydrologic features that occur within the north, south and east, respectively. There are several existing flood control channels currently serving the Town and several more are proposed. The western portion of the Town is considered in the Apple Valley West/Desert Knolls Master Plan of Drainage.

All-weather crossings are critical structures, providing for access into and out of the area in the event of an emergency. Bear Valley Road at the Mojave River is an all-weather crossing. An all-weather crossing of the Mojave River is also planned at Yucca Loma Road. These critical roadway facilities are further discussed in the Circulation Element and the Emergency Preparedness and Flooding and Hydrology Elements.

### **Critical Structures**

Buildings or facilities that provide important and/or essential emergency services following such disasters as floods, earthquakes or fires are referred to as “critical structures.” These include fire stations, hospitals, major roadways and bridges, airports, primary communications facilities, wells and reservoirs, and other facilities. School facilities and other civic structures may also be included in this list as essential staging areas for community emergency response and recovery areas.

To the greatest extent practicable, critical structures should be located where they are least vulnerable to impacts from such events as earthquakes, flooding, wildfire, or other hazardous events. They should be located outside and at some distance from 100-year floodplains or fault zones.

The Town is located in a seismically active region, being in proximity to the Helendale, San Andreas and other fault zones. Therefore, the Town and other responsible agencies need to ensure that, to the extent necessary, thorough engineering analyses are conducted prior to site selection for and construction of critical structures. As discussed in detail in the Geotechnical Element, design of such buildings should allow for offset of building foundations that may result from strong groundshaking or surface displacement. Safety issues relating to critical structures and facilities are also discussed in the Flooding and Hydrology and Emergency Preparedness Elements.

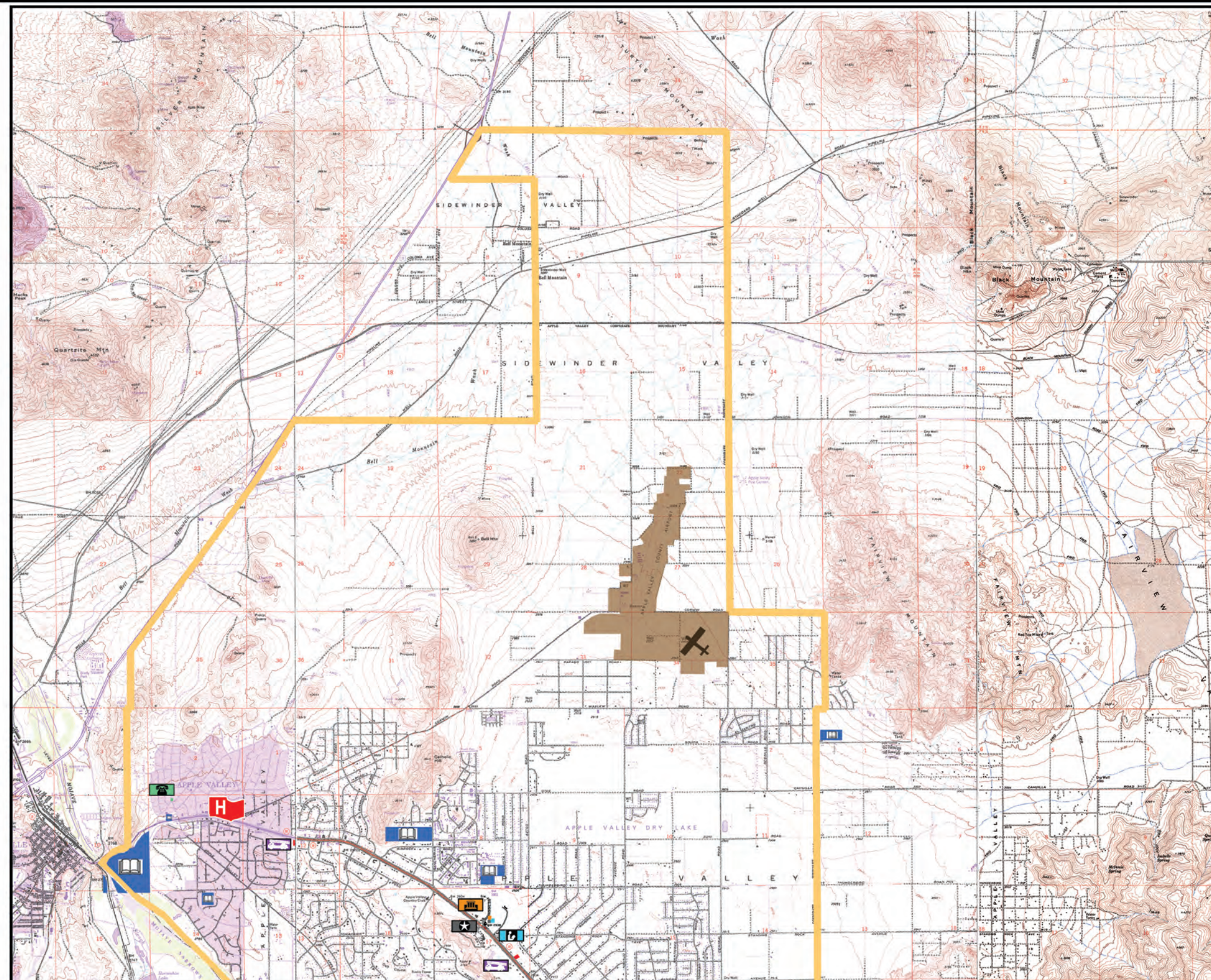


# Legend

-  **Airport**
-  **Chamber of Commerce**
-  **Fire Stations**
-  **Hospital**
-  **Police Stations**
-  **Public Library**
-  **Public Schools**
-  **Town Hall**

Source: USGS 7.45 Minute Maps;  
 Apple Valley North, CA 1970, revised 1993  
 Fairview Valley, CA 1993  
 Helendale, CA 1956 revised 1993  
 Turtle Valley, CA 1970, revised 1993  
 Victorville, CA 1956, revised 1993

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 SCALE IN FEET

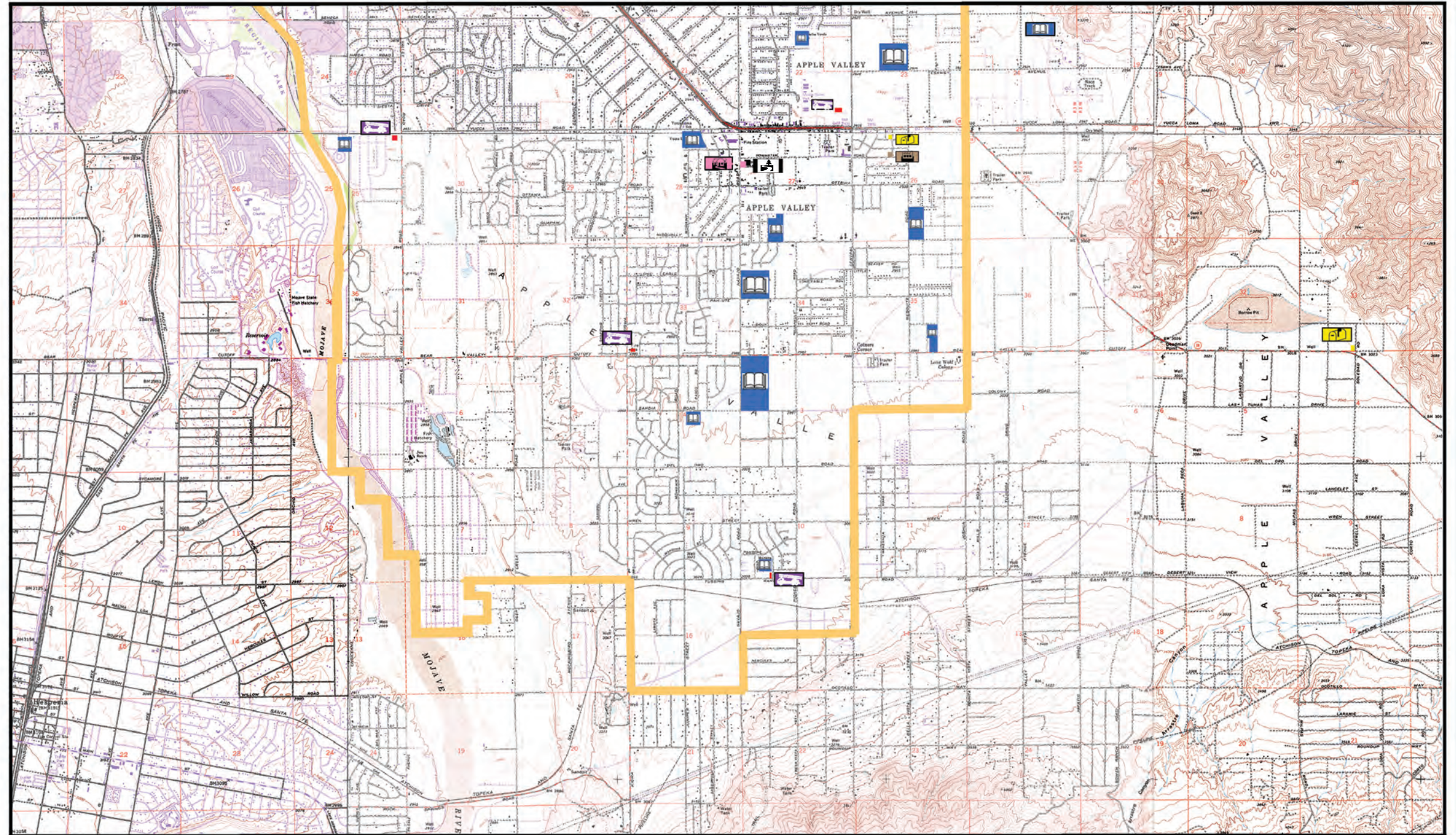


## Apple Valley General Plan Public Buildings and Facilities Map North Apple Valley, California



## Legend

-  **Community Center**
-  **Fire Stations**
-  **Post Office**
-  **Public Recreation**
-  **Public Schools**
-  **Public Works Yard**



Source: USGS 7.45 Minute Maps;

Apple Valley North, CA 1970, revised 1993

Apple Valley South, CA 1971, revised 1980

Fairview Valley, CA 1993

Fifteenmile Valley, CA 1971

Hesperia, CA 1956, revised 1980

Victorville, CA 1956, revised 1993

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## **FUTURE DIRECTIONS**

The Town does not have direct responsibility for the provision of many of the public buildings and facilities discussed in this and other General Plan Elements. The Town does have substantial influence, however, and plays an important advisory role in the planning and construction of these facilities carried out by others. Facilities planning decisions by utilities, educators and health service providers may have far-reaching consequences for community neighborhoods and the entire community and planning area.

The Town can assist the agency and company planners of these facilities by providing important information on growth in development and population, changes in the demographic makeup of the community, economic projections, Town capital improvements planning and other information that may affect planning and timing of new facilities. Close and on-going Town consultation and coordination with other responsible agencies will assure that essential and otherwise important public facilities will be available to meet current and future needs of the community.

In order to meet the community's essential infrastructure and service needs, provision must be made for continued funding of public services and facilities. The construction and/or expansion of new infrastructure and service facilities is essential to support the Town's current residents and business, and to accommodate future growth. The Department of Public Works, which regularly reviews the current state of infrastructure, is also tasked with planning for future facilities and their funding.

The Town routinely prepares and updates a Capital Improvement Program (CIP), which identifies proposed and existing projects that require governmental funding, such as traffic signals, street widenings, parks and recreation facilities, public parking lots and municipal buildings. The use of the five-year Capital Improvements Program planning process can be expanded to better coordinate this activity with the planning of other agencies. The Finance Department reviews requests for public services and facilities' expansion. A variety of funding sources and mechanisms are used to fund these improvements, including Measure A Tax, franchise taxes, and developer fees.

The Town must coordinate with a variety of public and quasi-public agencies and organizations to ensure the provision of adequate, cost-effective and conveniently located facilities. It should continue to do so at least annually to ensure that utilities mapping is up to date, and to assure that adequate funding is available through the capital improvement planning process and developer fees to maintain and expand public services and facilities. New funding sources, including a possible New Construction tax, should continually be explored and identified.

Education and health care are important components in the community's quality of life and may also serve to attract new businesses and residents. The Town should continue to explore the siting of new healthcare and educational facilities. These may include, but are not limited to, a possible branch of the San Bernardino County Museum in Apple Valley, as well as a four-year science and math teaching college/university in conjunction with the Academy for Academic

Excellence. The Town should support, as much as feasible, future expansion and updated facilities at St. Mary Medical Center, as well as other public and private health care facilities and programs.

## **GOALS, POLICIES AND PROGRAMS**

### **Goal 1**

Provision of a full range of dependable and cost-effective public buildings, facilities and services that are designed and conveniently located so as to meet the social, economic and functional needs of the entire community.

#### **Policy 1.A**

The long-term need for and availability of future public and quasi-public building, infrastructure and other facilities siting shall be considered in the Land Use Element.

#### **Program 1.A.1**

To ensure the availability of adequate sites for future public and quasi-public buildings, infrastructure and other facilities, the Town shall periodically review its Land Use map and development patterns, and shall confer and coordinate with utilities and other public and quasi-public agencies to ascertain their long-term needs.

**Responsible Agency:** Planning Division, Public Works Division, Apple Valley Ranchos Water Company, Golden State Water Company, other water services providers, SCE, SWG, Verizon, Charter Communications.

**Schedule:** 2008-2009; Minimum every five years

#### **Policy 1.B**

The Town shall continue to identify and assess viable mechanisms for long-term funding for construction, maintenance and operation of existing and future public buildings and facilities. This assessment shall include mechanisms that assure that new development provides its fair share of funding for these facilities.

#### **Program 1.B.1**

To ensure an on-going funding source for adequate provision of public buildings, utilities and other facilities associated with future development, the Town shall explore the possibility of establishing a New Construction Tax or Development Impact Fee that provides a rational nexus between development and demand for future facilities.

**Responsible Agencies:** Planning Division, Public Works Division, various utility providers, Building and Safety Division.

**Schedule:** 2008-2009; every five years

### **Goal 2**

The compatible and aesthetically satisfying integration of public buildings and facilities into the City's built and natural environments.



**Policy 2.A**

The Town shall confer and coordinate with providers of public utilities and other public/quasi-public agencies to ensure that utility buildings and facilities are developed in a manner compatible with the surrounding environment.

**Program 2.A.1**

The Town shall institute and maintain close working and collaborative relationships with utility providers, as well as with other public and quasi-public agencies that serve the Town, in order to ensure that utility buildings and facilities are integrated into the community in the least intrusive way possible.

**Responsible Agencies:** Planning Division, Public Works Division, Apple Valley Ranchos Water Company, Golden State Water Company, other water services providers, SCE, SWG, Verizon, Charter Communications and Victor Valley Wastewater and Reclamation Authority.

**Schedule:** Immediate; On-going

**Policy 2.B**

Public and quasi-public buildings of the Town shall be subject to compliance with all development standards that apply to private development.

**Policy 2.C**

The undergrounding of all utility lines and transformers, as well as undergrounding or screening of transformers and other utility facilities, shall be encouraged.