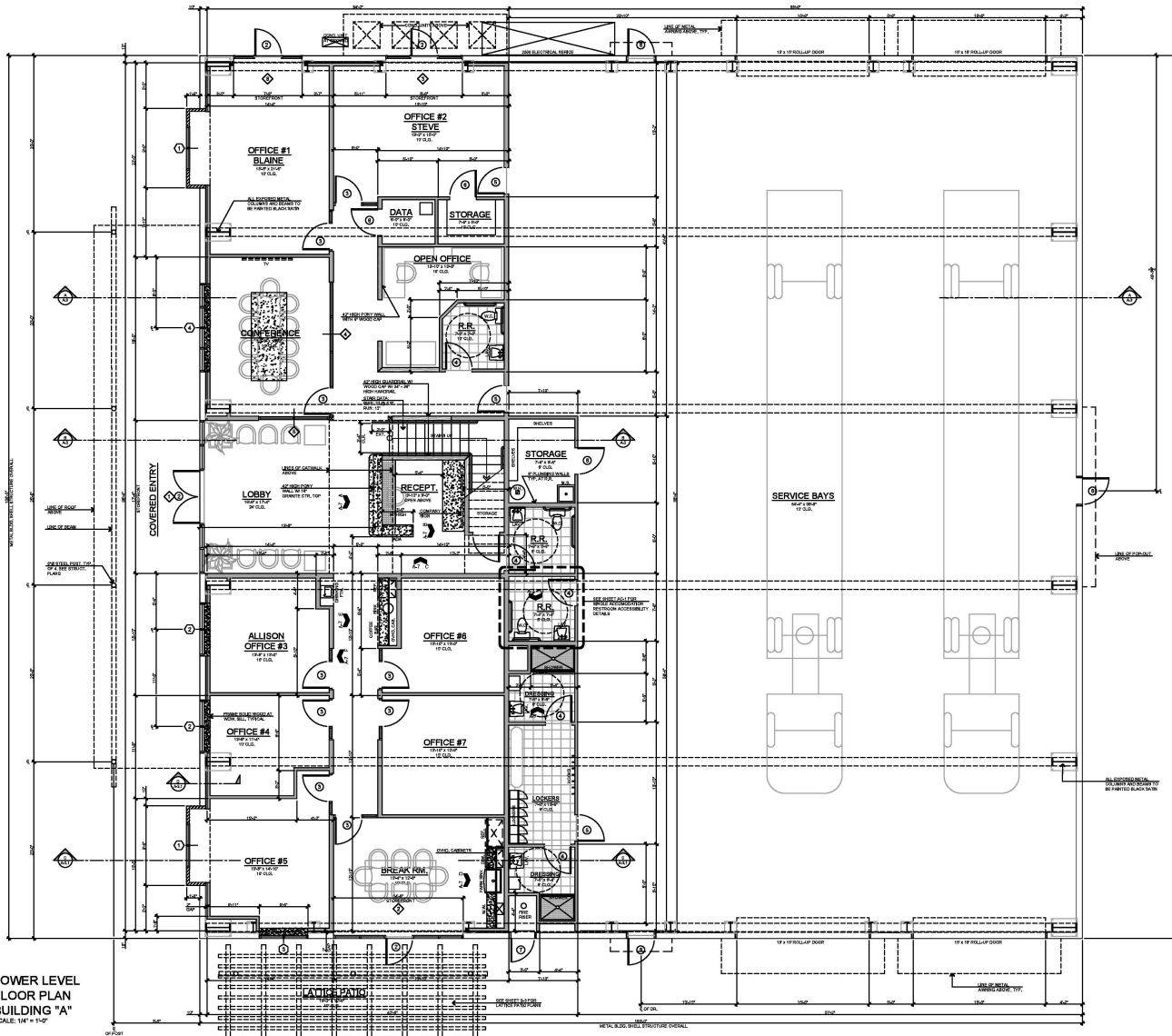


Appendix J

Project Plans

LOWER LEVEL FLOOR PLAN
BUILDING "A"
SCALE: 1/8" = 1'-0"



AREA TABULATION:

| | |
|-----------------------------|----------------------|
| FUTURE OFFICE - UPPER LEVEL | 4,300 SQ.FT. |
| OFFICE - LOWER LEVEL | 4,300 SQ.FT. |
| ROOF SERVICE BAYS | 4,300 SQ.FT. |
| TOTAL | 12,900 SQ.FT. |
| EXISTING FOOTPRINT | 12,900 SQ.FT. |

MINIMUM ENERGY VALUES

| | |
|-----------------------------------|-----------------------|
| OVERALL COORDINATED AREA (OFFICE) | 1.00 |
| ROOF R-VALUE | 15.00 |
| WALL R-VALUE | 10.00 |
| MANUFACTURED WINDOW | 0.80 |
| WINDOW TYPE | DOUBLE GLAZED |
| WINDOW FACTOR FOR FRAME | 0.15 |
| GLAZED CURVE WALL AREA | 847 F.S.F. |
| AIR CONDITIONER SYSTEM | 21 SEER 11.8 EER |
| AIR-TO-AIR ENERGY EXCHANGER | 84% |
| MIN. INSULATION DEPTH | 8.00 IN. |
| MIN. INSULATION TYPE | EXTRUSION POLYSTYRENE |

SYMBOL LEGEND

| SYMBOL | DESCRIPTION |
|----------|------------------------------|
| (Symbol) | EXISTING CONSTRUCTION |
| (Symbol) | NEW CONSTRUCTION |
| (Symbol) | REMOVE EXISTING |
| (Symbol) | EXISTING MANUFACTURED WINDOW |
| (Symbol) | NEW MANUFACTURED WINDOW |
| (Symbol) | EXISTING WALL |
| (Symbol) | NEW WALL |
| (Symbol) | EXISTING DOOR |
| (Symbol) | NEW DOOR |
| (Symbol) | EXISTING ROOF |
| (Symbol) | NEW ROOF |
| (Symbol) | EXISTING FLOOR |
| (Symbol) | NEW FLOOR |

WALL LEGEND

| SYMBOL | DESCRIPTION |
|----------|---------------------------------|
| (Symbol) | 2X8 STUDS @ 16" O.C. |
| (Symbol) | 2X12 STUDS @ 16" O.C. |
| (Symbol) | 2X8 STUDS FINISHED BY OTHERS |
| (Symbol) | 4" PERIMETER FINISHED BY OTHERS |

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ARCHITECTS
1111 PINE STREET, SUITE 200
DENVER, CO 80202
TEL: 303.733.1111
WWW.STEENOARCHITECTS.COM

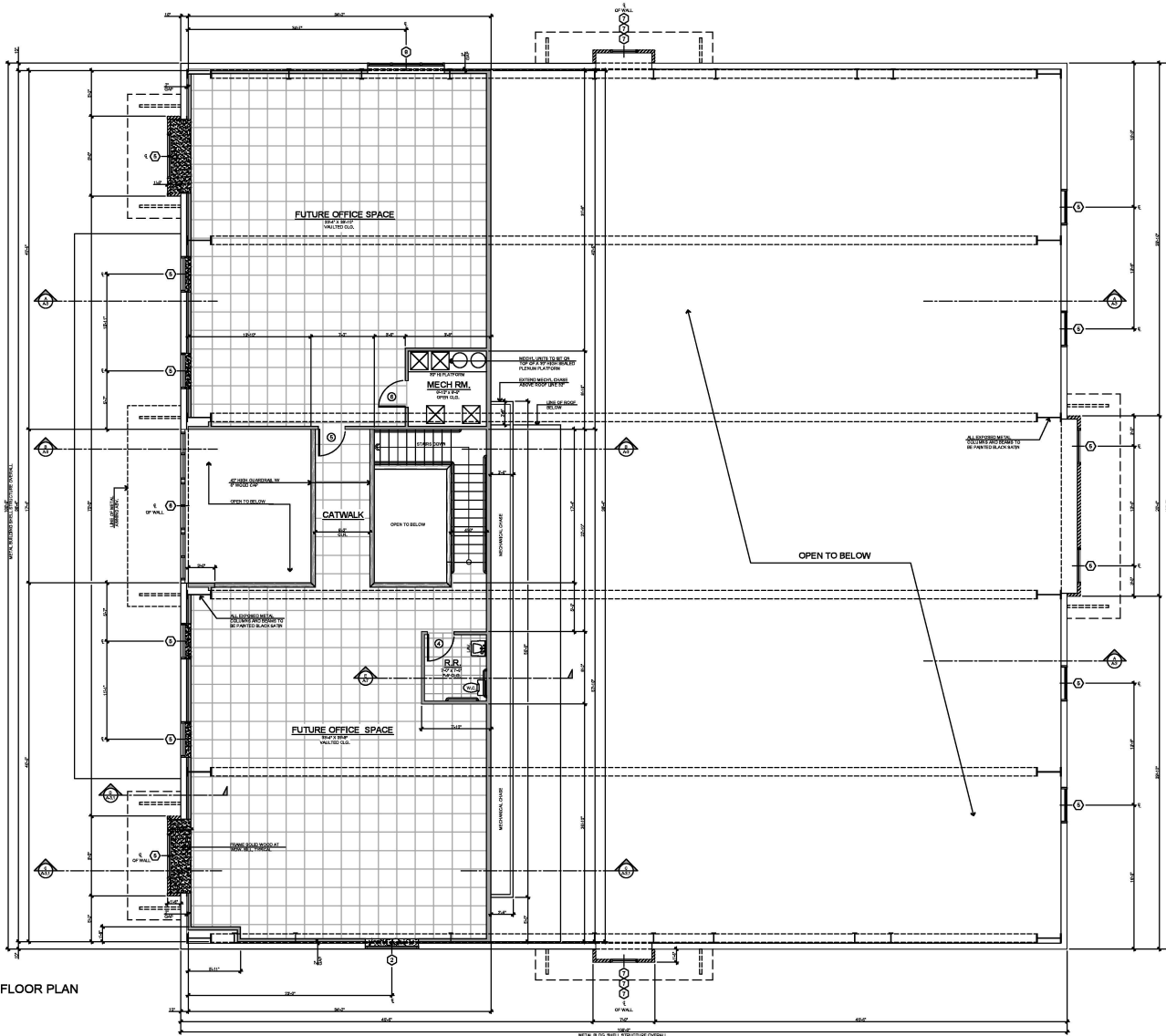
REVISED
FEBRUARY 2028

PROJECT: COMMERCIAL DEVELOPMENT - BUILDING "A"
JOSHUA GRADING & EXCAVATING

DATE: 02/24/2021
SHEET: 18

**BUILDING "A"
LOWER LEVEL
FLOOR PLAN**

PAGE
A-1



UPPER LEVEL FLOOR PLAN
 BUILDING 'A'
 SCALE: 1/4" = 1'-0"



STEENO
 ARCHITECTURE
 1117 F STREET, N.W.
 WASHINGTON, D.C. 20004
 TEL: (202) 462-1117
 FAX: (202) 462-1118
 WWW.STEENOARCHITECTURE.COM

PROJECT NO. 2024-001
 DATE: FEBRUARY 2024

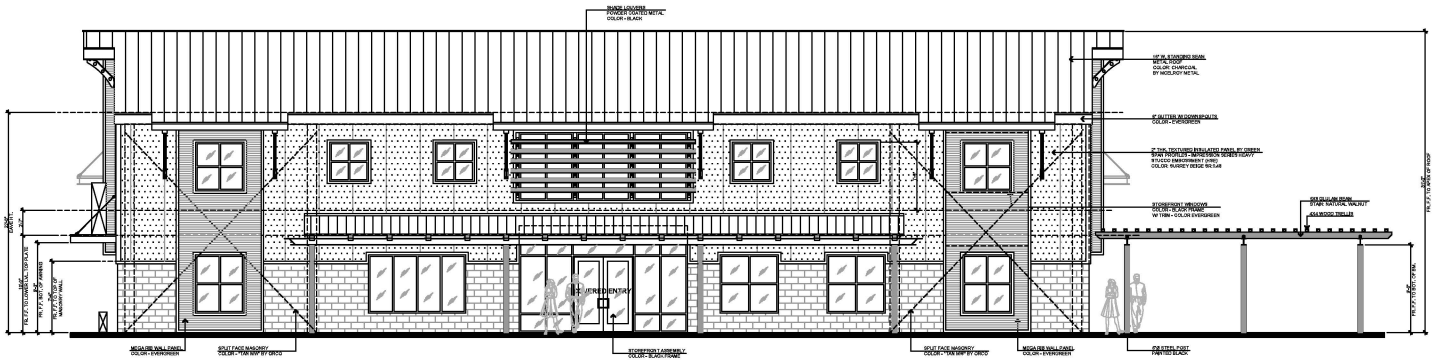
PROJECT: COMMERCIAL DEVELOPMENT - BUILDING 'A'
 JOSHUA GRADING & EXCAVATING
 1117 F STREET, N.W.
 WASHINGTON, D.C. 20004
 TEL: (202) 462-1117
 FAX: (202) 462-1118
 WWW.JOSHUAGRADING.COM

PROJECT: COMMERCIAL DEVELOPMENT - BUILDING 'A'
 JOSHUA GRADING & EXCAVATING
 1117 F STREET, N.W.
 WASHINGTON, D.C. 20004
 TEL: (202) 462-1117
 FAX: (202) 462-1118
 WWW.JOSHUAGRADING.COM

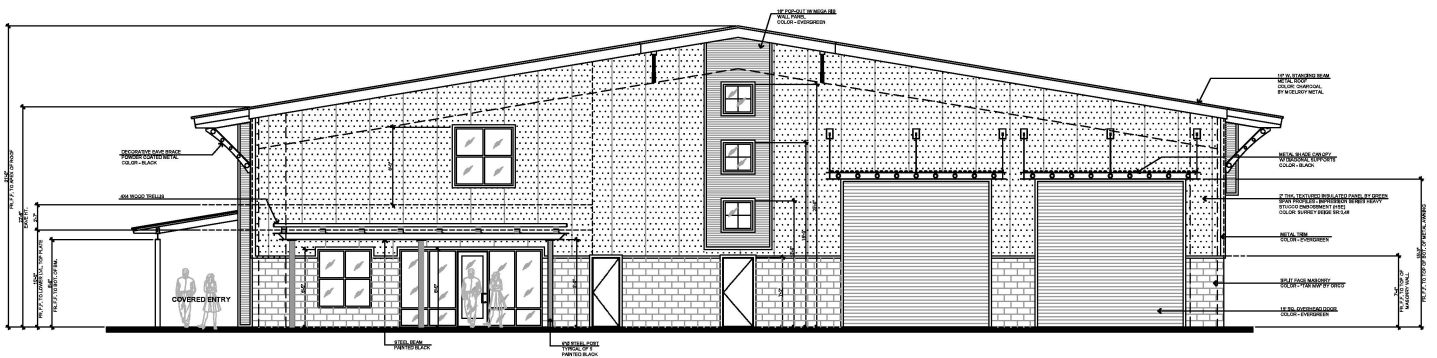
JOB NO. C24-033-01
 SHEET: 1/1

BUILDING 'A'
 UPPER LEVEL
 FLOOR PLAN

PAGE
 A-1.1



BUILDING 'A' FRONT - WEST ELEVATION
SCALE: 1/4" = 1'-0"

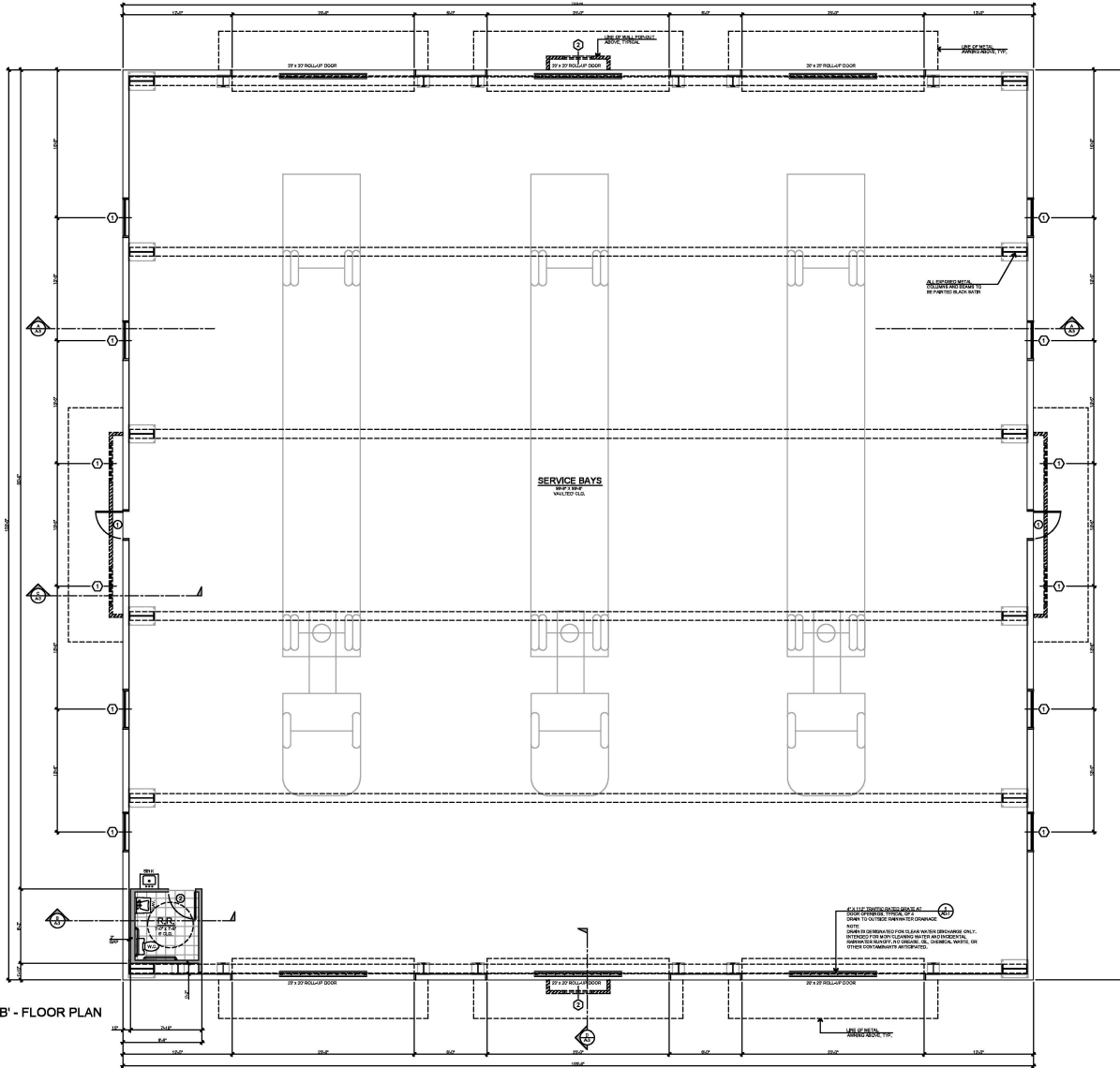


BUILDING 'A' RIGHT - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

STEENO
ARCHITECTURAL
DESIGN
FEBRUARY 2028

PROJECT: COMMERCIAL DEVELOPMENT - BUILDING 'A'
JOB NO.: C24-A33-01
SHEET: EXTERIOR ELEVATIONS
PAGE: A-2.0

PROJECT: COMMERCIAL DEVELOPMENT - BUILDING 'A'
JOB NO.: C24-A33-01
SHEET: EXTERIOR ELEVATIONS
PAGE: A-2.0



BUILDING 'B' - FLOOR PLAN
SCALE: 1/4" = 1'-0"



STEENO
ARCHITECTURAL DESIGN & CONSTRUCTION
11177 HARBORVIEW DRIVE, SUITE 100
DUBLIN, CA 94568
TEL: 925.835.3333
WWW.STEENO.COM

PROJECT: COMMERCIAL DEVELOPMENT - BUILDING 'B'
JOSHUA GRADING & EXCAVATING
DATE: FEBRUARY 2028

| AREA TABULATION: | |
|---------------------|--------------|
| RESTROOM | = 16 S.F. |
| SHOP (SERVICE BAYS) | = 1,600 S.F. |
| TOTAL | = 1,616 S.F. |

| SYMBOL LEGEND | |
|---------------|-----------------|
| (Symbol) | EXISTING DOOR |
| (Symbol) | PROPOSED DOOR |
| (Symbol) | EXISTING WINDOW |
| (Symbol) | PROPOSED WINDOW |
| (Symbol) | EXISTING WALL |
| (Symbol) | PROPOSED WALL |
| (Symbol) | EXISTING FLOOR |
| (Symbol) | PROPOSED FLOOR |

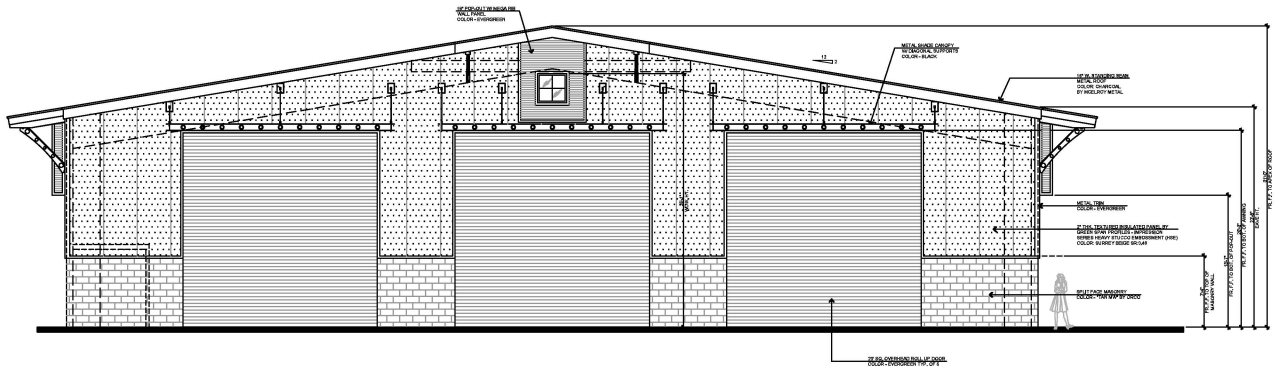
| WALL LEGEND | |
|-------------|--------------------------|
| (Symbol) | EXISTING WALL |
| (Symbol) | PROPOSED WALL |
| (Symbol) | WALL TO BE REMOVED |
| (Symbol) | WALL TO BE RECONSTRUCTED |

PROJECT: COMMERCIAL DEVELOPMENT - BUILDING 'B'
JOSHUA GRADING & EXCAVATING
DATE: FEBRUARY 2028

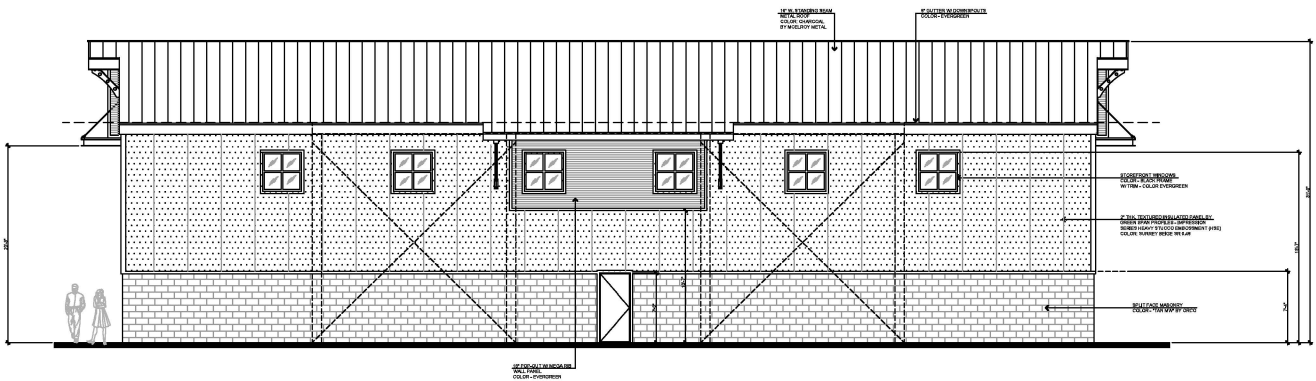
PROJECT NO.: C24-A33-02

SHEET NAME: BUILDING 'B' REPAIR SHOP FLOOR PLAN

PAGE: A-3



BUILDING 'B' FRONT - SOUTH ELEVATION/
MIRRORED REAR - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 'B' RIGHT - EAST ELEVATION/
MIRRORED LEFT - WEST ELEVATION
SCALE: 1/4" = 1'-0"

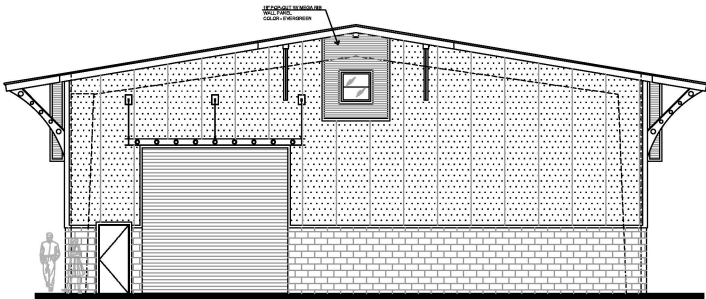
STEENO
ARCHITECTURE
11111 PATENT ROAD, SUITE 100, DALLAS, TEXAS 75244
TEL: 214.443.8888 FAX: 214.443.8889
WWW.STEENOARCHITECTURE.COM

DATE: FEBRUARY 2028
REVISIONS:

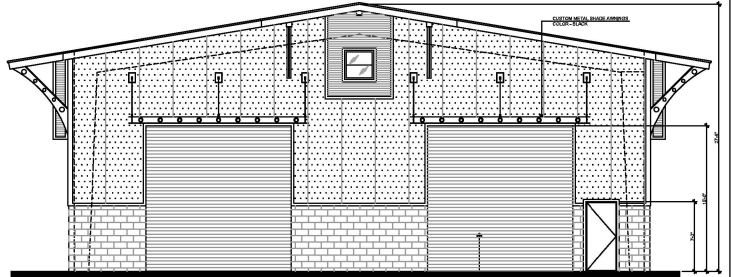
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PROJECT: COMMERCIAL DEVELOPMENT - BUILDING 'B'
CLIENT: JOSHUA GRADING & EXCAVATING
11111 PATENT ROAD, SUITE 100, DALLAS, TEXAS 75244
TEL: 214.443.8888 FAX: 214.443.8889
WWW.STEENOARCHITECTURE.COM

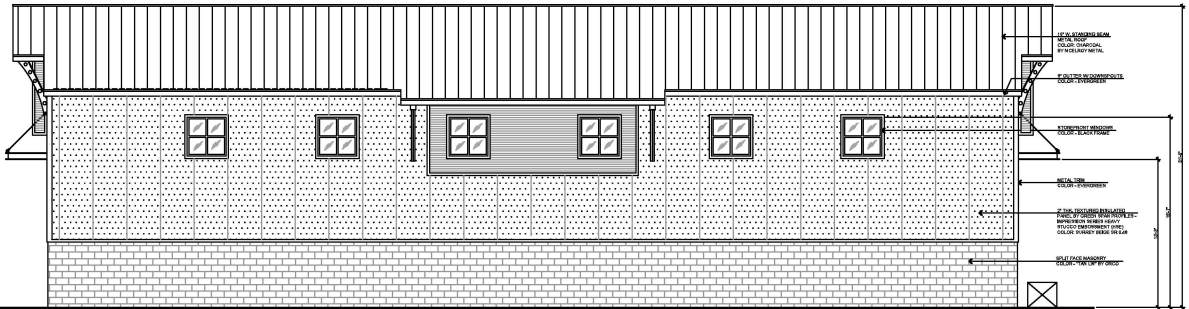
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SHEET NO.: C28-A33-02
SHEET NAME: BUILDING 'B' EXTERIOR ELEVATIONS
PAGE: A-4



BUILDING 'C' FRONT - SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 'C' REAR - NORTH ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 'C' RIGHT - EAST ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING 'C' LEFT - WEST ELEVATION
SCALE: 1/4" = 1'-0"

STEENO
ARCHITECTURE
1117 W. HAYWARD AVENUE, SUITE 100
FAYETTEVILLE, AR 72701
TEL: 479-781-4444

DATE PLOTTED: APRIL 2025

PROJECT: C28-A33-01

SHEET: A-5.1



Joshua Gray
REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINEERING
STATE OF ARIZONA
No. 13177

PROJECT: COMMERCIAL DEVELOPMENT
JOSHUA GRADING & EXCAVATING
1000 N. GARDEN AVENUE, SUITE 100
FAYETTEVILLE, AR 72701
TEL: 479-781-4444

JOB NO.: C28-A33-01

SHEET NAME:
**BUILDING 'C'
EXTERIOR
ELEVATIONS**

PAGE
A-5.1



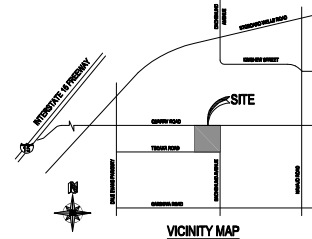
PRECISE GRADING PLAN

TECAYA ROAD

TOWN OF APPLE VALLEY

COUNTY OF SAN BERNARDINO

APN: 0463-441-07



GENERAL NOTES

- PERMITS**
- APPROXIMATE EARTHWORK QUANTITIES FOR PERMIT PURPOSES ONLY.
 - NO BUILDING PERMIT SHALL BE ISSUED PRIOR TO THE GRADING BEING CERTIFIED.
 - RETAINING WALLS SHALL BE CONSTRUCTED TO TOWN OF APPLE VALLEY STANDARDS OR WALL CALCULATIONS SHALL BE SUBMITTED TO THE TOWN OF APPLE VALLEY BUILDING AND SAFETY DIVISION FOR APPROVAL. THE CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT TO CONSTRUCT RETAINING WALLS FROM THE TOWN OF APPLE VALLEY BUILDING AND SAFETY DIVISION.
 - ENGINEERING DEPARTMENT APPROVAL DOES NOT INCLUDE WATER OR SEWER SYSTEM APPROVAL OR ESTIMATE OF QUANTITIES.
- NOTIFICATIONS:**
- THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT LEAST 48 HOURS PRIOR TO EXCAVATION AT 811.
 - A SITE PRE-GRADING SCHEDULE SHALL BE SCHEDULED AT LEAST 48 HOURS PRIOR TO START OF GRADING.
 - NOTIFY THE TOWN OF APPLE VALLEY BUILDING AND SAFETY DIVISION TWO WORKING DAYS PRIOR TO ALL NECESSARY INSPECTIONS.
 - CONTRACTOR SHALL CONTACT SOILS ENGINEER AND UNDERGROUND ENGINEER TWO WORKING DAYS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS AND TWO DAYS PRIOR FOR INSPECTIONS AND/OR STAKING SERVICES, AS APPLICABLE.
- PRECAUTIONS AND RESPONSIBILITIES:**
- SLOPE STABILIZATION SHALL BE PROVIDED ON ALL SLOPES IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE'S LATEST EDITION.
 - ALL OFFSITE IMPROVEMENTS SHALL BE CONSTRUCTED TO TOWN STANDARDS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT SURVEYED MONUMENTS IN PLACE AND THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR RESETTING DAMAGED OR DESTROYED MONUMENTS.
 - NO GRADING/CONSTRUCTION SHALL COMMENCE PRIOR TO 7:00 A.M. EACH WORKING DAY.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH THE JOB SITE AND THE LOCATION OF ALL UNDERGROUND FACILITIES SHOWN OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING UTILITIES THAT ARE SHOWN OR NOT SHOWN ON THESE PLANS.
 - THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE AMOUNT OF EARTHWORK INVOLVED BEFORE SUBMITTING A BID. THE ENGINEER'S ESTIMATE OF EARTHWORK QUANTITIES ARE TOTAL RAW VOLUME ONLY AND ARE TO BE USED FOR GRADING PERMIT AND PLAN CHECK FEES ONLY.
 - THE CONTRACTOR SHALL OBTAIN A COPY OF AND BECOME FAMILIAR WITH ANY PRELIMINARY SOILS INVESTIGATION REPORTS AND/OR ENGINEERING GEOLOGY REPORTS PREPARED FOR THIS PROJECT PRIOR TO COMMENCEMENT OF GRADING OPERATIONS AND SHALL PROSECUTE AND COMPLETE HIS WORK IN ACCORDANCE WITH THE RECOMMENDATIONS AND GRADING SPECIFICATIONS CONTAINED IN SUCH REPORTS.
 - COMPACTION TEST REPORTS SHALL BE SUBMITTED TO THE TOWN OF APPLE VALLEY'S BUILDING AND SAFETY DIVISION FOR APPROVAL PRIOR TO FOUNDATION INSPECTIONS.
 - THE CONTRACTOR SHALL HAVE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), BEST MANAGEMENT PRACTICES IN PLACE PRIOR TO GRADING, AND SHALL MAINTAIN THEM UNTIL FINAL INSPECTION.
 - APPROVAL OF PLANS BY THE TOWN OR ITS AGENTS DOES NOT RELIEVE THE DEVELOPER FROM RESPONSIBILITY FOR CORRECTION OR REMEDIATION DISCOVERED DURING CONSTRUCTION. UPON REQUEST THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.
 - AN APPROVED SET OF PLANS SHALL BE AT THE JOB SITE AT ALL TIMES.
 - AN AS-BUILT GRADING PLAN SHALL BE SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.
- EROSION CONTROL:**
- EROSION CONTROL (WIND AND WATER) SHALL INCLUDE:
 - PROVISIONS FOR CONTINUOUS WATERING DURING GRADING OPERATION TO INCLUDE 24 HOUR ON-CALL OPERATOR ON AS DIRECTED BY TOWN STAFF.
 - UPON COMPLETION OF THE PROJECT, THE ENTIRE SITE IS TO BE TREATED WITH MAGNESIUM CHLORIDE OR AS DETERMINED BY TOWN STAFF.
 - EROSION CONTROL DEVICES SHALL BE DETERMINED BY THE PROJECT'S ENGINEER OF RECORD AND THE APPROVED SWPPP.

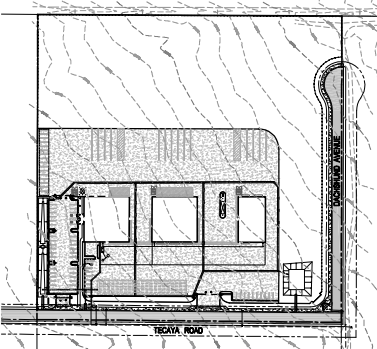
- SPECIFICATIONS:**
- ALL GRADING WORK SHOWN ON THIS PLAN SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE'S LATEST EDITION, OSHA, AND OTHER STATE LAWS AND LOCAL ORDINANCES.
 - ALL GRADING SHALL CONFORM TO THE RECOMMENDATIONS AND REQUIREMENTS OF THE PRELIMINARY SOILS REPORT DATED:
 - CLEAR ALL AREAS OF FILL OF VEGETATION TO A DEPTH OF SIX (6) INCHES OR MORE, NO FILL IS TO BE PLACED UNTIL PREPARATION OF ORIGINAL GROUND IS APPROVED BY THE SOILS ENGINEER, TOWN OR COUNTY INSPECTOR.
 - ALL ORGANIC SURFACE MATERIAL AND DEBRIS SHALL BE STRIPPED PRIOR TO ANY GRADING OPERATIONS AND TRANSPORTED AWAY FROM ALL AREAS THAT ARE TO RECEIVE STRUCTURES OR ENGINEERED FILL.
 - FOUNDATION BEARING VALUE SHALL BE AT LEAST 2000 PSF.
 - COMPACTION SHALL BE A MINIMUM OF NINETY PERCENT (90 %) COMPACTION TESTS SHALL BE MADE FOR EACH 10-24 INCHES OF FILL.
 - FILL SHALL BE PLACED IN LIFTS OF SIX (6) INCHES TO EIGHT (8) INCHES (LOOSE) AND SUFFICIENT MOISTURE ADDED AND MATERIAL COMPACTED TO ACHIEVE THE REQUIRED PERCENT OF COMPACTION.
 - NO ROCKS GREATER THAN SIX (6) INCHES IN DIAMETER MAY BE PLACED IN FILL.
 - MAXIMUM CUT AND FILL SLOPES SHALL BE 2:1.
 - ALL GRADED AREAS SHALL SLOPE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE'S LATEST EDITION.
 - THE PROPERTY OWNER SHALL MAINTAIN ALL ONSITE DRYWELLS AND STORM DRAIN SYSTEMS SUCH THAT TRAPPED WATER WILL PERCOLATE IN THE GROUND WITHIN (7) SEVEN DAYS AFTER A STORM EVENT.
 - BUILDING PADDS AND GRADING PLAN CERTIFICATION SHALL BE COMPLETED BY A LICENSED ENGINEER AS REQUIRED BY TOWN STAFF IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE'S LATEST EDITION.
 - ALL BORROW LOCATIONS SHALL BE APPROVED BY THE TOWN OF APPLE VALLEY AND THE SOILS ENGINEER.
 - CONDITIONS OF APPROVAL DATED ARE HEREBY MADE A PART OF THESE PLANS.
- SPECIAL NOTES:**
- OSHA TREES SHALL BE PROTECTED IN PLACE.

ABBREVIATIONS:

- | | |
|---------|--------------------------|
| AC | ACRES |
| ANG. PT | ANGLE POINT |
| APN | ASSESSOR'S PARCEL NUMBER |
| BLOG | BUILDING |
| C/F | CHAIN LINK FENCE |
| CONC | CONCRETE |
| CY | CUBIC YARDS |
| EG | EXISTING GRADE |
| EABMT | EXISTING ADJACENT |
| FL | FRESH GRADE |
| FL | FINISHED GRADE |
| FL | FLOW LINE |
| FS | FINISHED SURFACE |
| GB | GRADE BREAK |
| HP | HIGH POINT |
| INV. | INVERT OF PIPE |
| LF | LOW POINT |
| LS | LAND SURVEYOR |
| MAX | MAXIMUM |
| MPL | MINIMUM |
| PL | PROPERTY |
| PP | PANEL MAP |
| PROP | PROPOSED |
| RET | RETAINING |
| RW | RIGHT OF WAY |
| TC | TOP OF CURB |
| TR | TRACT |
| TRW | TOP OF RETAINING WALL |
| TS | TOP OF SLOPE |
| TYP. | TYPICAL |

EARTHWORK:

- | | |
|--------|-----------------|
| CUT | 10,176 CU. YDS. |
| FILL | 410 CU. YDS. |
| EXPORT | 9,766 CU. YDS. |



INDEX SHEET

- SHEET 1 - TITLE SHEET
 SHEET 2 - PRE-CISE GRADING PLAN
 SHEET 3 - SECTIONS & DETAILS
 SHEET 4 - CONTECH DETAILS
 SHEET 5 - UTILITY PLAN
 SHEET 6 - HORIZONTAL CONTROL PLAN
 SHEET 7 - EROSION CONTROL PLAN
 SHEET 8 - EROSION CONTROL DETAILS & NOTES

SITE STATISTICS:

- APN: 0463-441-07
 NET AREA: 373,548 S.F. (8.58 AC)
 GROSS AREA: 452,207 S.F. (10.28 AC)
 IMPERVIOUS AREA: 191,710 S.F. (4.40 AC)

OWNER/DEVELOPER:

- CHAFF QUARRY I, LLC
 PO BOX 202329
 PHOENIX, AZ 85029

UTILITY PROVIDER LIST:

- ELECTRICAL/POWER:** SOUTHERN CALIFORNIA EDISON
 12303 HESPERIA ROAD
 VICTORVILLE, CA 92202
 (760) 953-3445
- NATURAL GAS:** SOUTHERN CALIFORNIA GAS CO.
 13025 26th STREET
 CHINO, CA 91715
 (909) 613-1537
- CABLE MEDIA & TELEPHONE:** SPECTRUM
 191951 BEAR VALLEY ROAD
 APPLE VALLEY, CA 92308
 (888) 456-7663
- WATER SERVICE:** LIBERTY
 21765 OTTAWA ROAD
 APPLE VALLEY, CA 92308
 (760) 247-6484
- SEWER SERVICE:** ON-SITE SEPTIC

CIVIL ENGINEER/PREPARED BY:

- ALLARD ENGINEERING
 1886 BELLEVUE AVE
 FORTANA, CA 92335
 (951) 356-1010

ARCHITECT:

- STENO DESIGN STUDIO INC.
 11774 HESPERIA ROAD, SUITE B
 HESPERIA, CA 92345
 (760) 244-0001

SOILS ENGINEER:

- LOR GEOTECHNICAL GROUP, INC.
 810 N. SHAL VALLEY COURT
 RIVERSIDE, CA 92507
 (951) 655-1760

CONSTRUCTION NOTES:

- | | |
|---|----------------|
| 1. CONSTRUCT 6" PCC CURB PER SAN BERNARDINO COUNTY STD. 118 | 497.1 L.F. |
| 2. CONSTRUCT 6" PCC CURB & GUTTER PER SAN BERNARDINO COUNTY STD. 118 | 489.1 L.F. |
| 3. CONSTRUCT 12" WIDE CONCRETE STEPPING STOP | 129.5 L.F. |
| 4. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER PER DETAIL ON SHEET 3 | 1,389.1 L.F. |
| 5. CONSTRUCT 4.5" CONCRETE OVER 4" AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS | 145,619.5 L.F. |
| 6. CONSTRUCT 4" THICK CONCRETE SIDEWALK | 1,707.8 L.F. |
| 7. CONSTRUCT HANDICAPPED RAMP PER SPWV STD. 1114, TYPE 1 | 1 EA. |
| 8. INSTALL 4" LONG CONCRETE WHEEL STOP | 2 EA. |
| 9. INSTALL 12" PVC DRAIN PIPE | 40 L.F. |
| 10. INSTALL CONTECH UNDERGROUND RETENTION SYSTEM PER DETAILS ON SHEET 4 | 838 L.F. |
| 11. CONSTRUCT 6" HIGH MASONRY WALL W/GRABON CASE SPACED 50" O.C. MAX. PER SEPARATE PERMIT | 1,600 L.F. |
| 12. CONSTRUCT 8" HIGH WROUGHT IRON FENCING PER SEPARATE PERMIT | 1,600 L.F. |
| 13. INSTALL SITE LIGHTING PER ARCHITECTURAL PLANS | 4 EA. |
| 14. INSTALL UNAUTHORIZED VEHICLES IN ACCESSIBLE PARKING SIGNAGE PER DETAIL ON SHEET 3 | 1 EA. |
| 15. INSTALL ACCESSIBLE PARKING SPACE SIGNAGE PER DETAIL ON SHEET 3 | 2 EA. |
| 16. CONSTRUCT 18" HDPE RIBBON WITH GATE | 1 EA. |

QUANTITIES:



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 (951) 261-2265
 www.811sb.org

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BENCHMARK:

LOCATION: TOP OF BRASS CAP @ WEST 1/4 CORNER, SECTION 4, T8N, R29W, S. 8.M. PER CSPB 4729297

ELEV: 9134.910 (INDVD 29)

TOWN OF APPLE VALLEY ENGINEERING DEPARTMENT
REVISION: _____ DATE: _____

RECORD OR PERMITTER/TOWN ENGINEER
 SIGNATURE: _____ DATE: _____

THESE PLANS ARE OWNED BY THE TOWN OF APPLE VALLEY FOR CONCEPT PURPOSES TO THE ENGINEER AND NOT RESPONSIBLE FOR DESIGN, MERCHANTABILITY AND ACCURACY.

Prepared By:
ALLARD ENGINEERING
 Civil Engineering - Land Surveying - Land Planning
 1886 BELLEVUE AVENUE
 FORTANA, CALIFORNIA 92335
 Phone: (951) 356-1010 Fax: (951) 356-1795

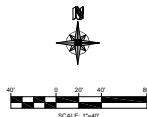
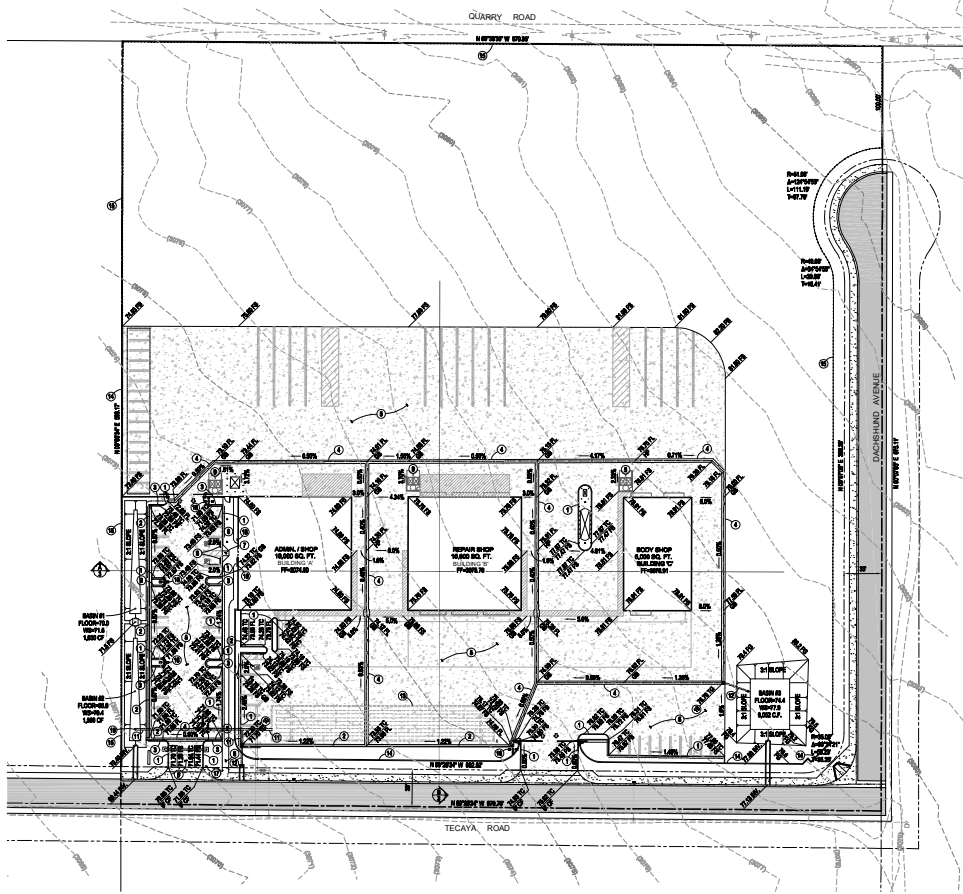
Robert K. Allard 12/09/25 DATE

ROBERT K. ALLARD R.C.E. 65348



TOWN OF APPLE VALLEY
TITLE SHEET
 APN 0463-441-07
 TECAYA ROAD

PROJECT NUMBER: _____ SCALE: AS SHOWN SHEET 1 OF 8



- CONSTRUCTION NOTES:**
- 1. CONSTRUCT 6" PCC CURB PER SAN BERNARDINO COUNTY STD. 116
 - 2. CONSTRUCT 6" PCC CURB & GUTTER PER SAN BERNARDINO COUNTY STD. 116
 - 3. CONSTRUCT 12" WIDE CONCRETE STEPPING STRIP
 - 4. CONSTRUCT 3" WIDE CONCRETE RIBBON GUTTER PER DETAIL ON SHEET 3
 - 5. CONSTRUCT 8" CONCRETE OVER 4" AGGREGATE BASE PER S.O.L.S ENGINEER'S RECOMMENDATIONS
 - 6. CONSTRUCT 4" THICK CONCRETE SIDEWALK
 - 7. CONSTRUCT HANDICAPPED RAMP PER SP99WC STD. 111-4, TYPE 1
 - 8. INSTALL 4' LONG CONCRETE WHEEL STOP
 - 9. CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLANS
 - 10. INSTALL 18" SQUARE NDS DRAINAGE INLET OR APPROVED EQUAL
 - 11. INSTALL 18" HDPE DRAIN PIPE
 - 12. INSTALL 12" PVC DRAIN PIPE
 - 13. INSTALL CONTECH UNDERGROUND RETENTION SYSTEM PER DETAILS ON SHEET 4
 - 14. CONSTRUCT 6" HIGH MASONRY WALL W/ GABION CASE SPACED 50' O.C. MAX. PER SEPARATE PERMIT
 - 15. CONSTRUCT 6" HIGH WROUGHT IRON FENCING PER SEPARATE PERMIT
 - 16. INSTALL SITE LIGHTING PER ARCHITECTURAL PLANS
 - 17. INSTALL UNAUTHORIZED VEHICLES IN ACCESSIBLE PARKING SIGNAGE PER DETAIL ON SHEET 3
 - 18. INSTALL ACCESSIBLE PARKING SPACE SIGNAGE PER DETAIL ON SHEET 3
 - 19. CONSTRUCT 18" HDPE RISER WITH GRATE



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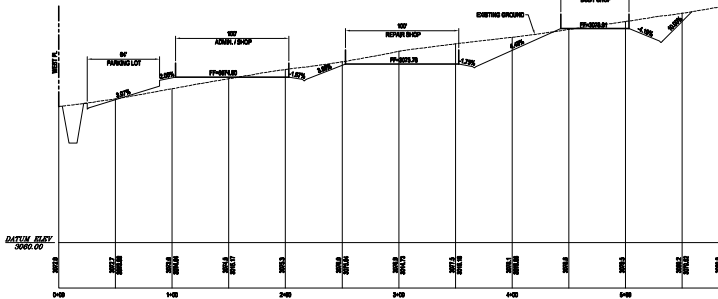
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 ELEV=3134.910 (INDVD 25)

TOWN OF APPLE VALLEY ENGINEERING DEPARTMENT
 PREPARED BY: [Signature]
 CHECKED BY: [Signature] DATE: 12/05/25
 THESE PLANS ARE OWNED BY THE TOWN OF APPLE VALLEY FOR CONCEPT PURPOSES TO TOWN ENGINEERS AND REGULATORS ONLY. THE TOWN OF APPLE VALLEY IS NOT RESPONSIBLE FOR DESIGN, ANALYSIS OR ACCURACY.

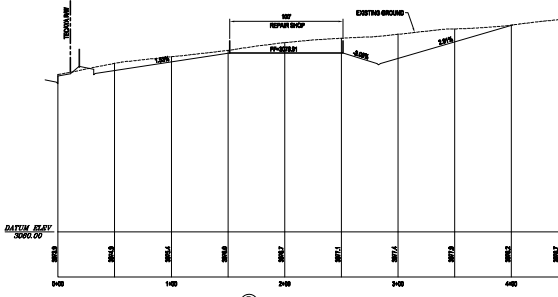
Prepared By:
ALLARD ENGINEERING
 Civil Engineering, Land Surveying, Land Planning
 18880 Soledad Avenue
 San Ramon, California 94583
 Phone: (925) 366-1913 Fax: (925) 366-1793
 12/05/25 DATE
 ROBERT K. ALLARD R.C.E. 85348

**TOWN OF APPLE VALLEY
 PRECISE GRADING PLAN**
 APN 0463-441-07
 TECAYA ROAD

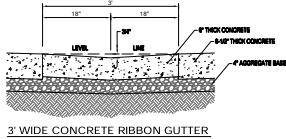
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SCALE: HORIZ: 1"=4'
VERT: 1"=4'

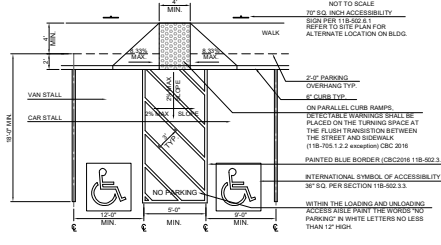
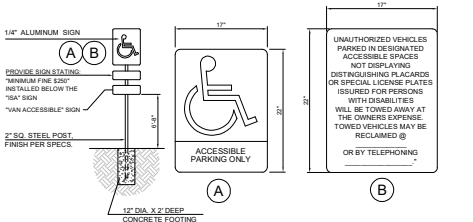


SCALE: HORIZ: 1"=4'
VERT: 1"=4'



SIGNAGE AND IDENTIFICATION

- THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15500 IN FEDERAL STANDARD 595C.
- EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON DARK BLUE BACKGROUND. THE SIGN SHALL NOT BE SMALLER THAN 10 SQUARE INCHES IN AREA AND WHEN IN A PATH OF TRAVEL SHALL BE POSTED AT A MINIMUM HEIGHT OF 8' FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE PAVED SURFACE. (FIGURE "A" BELOW)
- AN ADDITIONAL SIGN SHALL ALSO BE POSTED IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL BE NOT LESS THAN 17" BY 27" IN SIZE WITH LETTERING NOT LESS THAN 1" IN HEIGHT. (FIGURE "B" BELOW) IN THE SURFACE OF EACH ACCESSIBLE PARKING SPACE OR STALL SHALL HAVE A SUBSPACE IDENTIFICATION DUPLICATING EITHER OF THE FOLLOWING SCHEMES:
BY OUTLINING OR PAINTING THE STALL OR SPACE IN BLUE AND OUTLINING ON THE GROUND IN THE STALL OR SPACE IN WHITE OR SUITABLE CONTRASTING COLOR A PROFILE VIEW REPRESENTING A WHEELCHAIR WITH OCCUPANT, OR BY OUTLINING A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON BLUE BACKGROUND. THE PROFILE VIEW SHALL BE LOCATED SO THAT IT IS VISIBLE TO A TRAFFIC ENFORCEMENT OFFICER WHEN A VEHICLE IS PROPERLY PARKED IN THE SPACE AND SHALL BE 30" HIGH BY 30" WIDE.



ACCESSIBLE PARKING DBL. SPACES

NOT TO SCALE



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BENCHMARK:
LOCATION:
TOP OF BRASS CAP @ WEST 1/4 CORNER,
SECTION 4, T8N, R29W, S.B.M. PER CSPB
475297
ELEV: 3134.910 (INDVD 29)

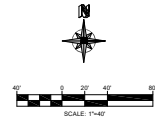
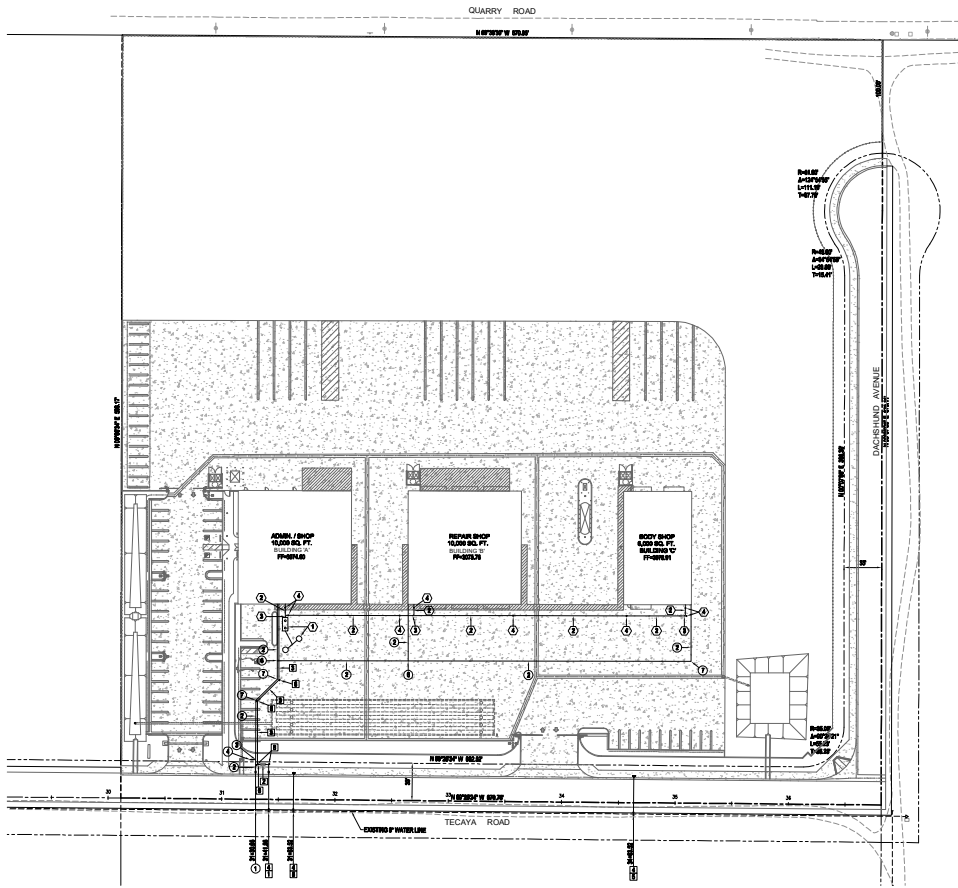
TOWN OF APPLE VALLEY ENGINEERING DEPARTMENT
PROJECT NO. 2019-001
REVISION NO. 01
DATE: 12/09/25

Prepared By:
ALLARD ENGINEERING
Civil Engineering, Land Surveying, Land Planning
1880 South Avenue
Orland, California 95963
Phone: (916) 366-1913 Fax: (916) 366-1950

ROBERT K. ALLARD R.C.E. 85349
DATE: 12/09/25

TOWN OF APPLE VALLEY
SECTIONS & DETAILS
APN 0463-441-07
TECAYA ROAD

PROJECT NUMBER: AS SHOWN
SCALE: AS SHOWN
SHEET 3 OF 8



- WATER CONSTRUCTION NOTES:**
- INSTALL 2" DOMESTIC WATER SERVICE ASSEMBLY PER LIBERTY STD. DWG. NO. AV-202 _____ 1 EA.
 - INSTALL 1.5" PVC DOMESTIC WATER LINE _____ 620 L.F.
 - INSTALL 1.5" x 2" TEE _____ 1 EA.
 - INSTALL REDUCED PRESSURE VALVE ASSEMBLY PER LIBERTY STD. DWG. NO. AV-314 _____ 1 EA.
 - INSTALL 1" PVC STUB & SHUT OFF VALVE _____ 1 EA.
 - INSTALL 1.5" TEE _____ 1 EA.
 - INSTALL 1.5" BEND _____ 3 EA.
- FIRE CONSTRUCTION NOTES:**
- INSTALL 6" WATER SERVICE ASSEMBLY (FIRE SERVICE) LIBERTY, 6" PC350 DUCTILE IRON PIPE TO BE INSTALLED UP TO RW _____ 1 EA.
 - INSTALL 6" DOUBLE CHECK DETECTOR ASSEMBLY (ABOVE GROUND) PER LIBERTY STD. DWG. NO. AV-301 _____ 1 EA.
 - INSTALL 6" PVC 150 CLASS C900 DR18 FIRE LINE & D.I. FITTINGS W/ TRENCE, BACKFL & FITTINGS PER MANUFACTURER'S SPECIFICATIONS _____ 260 L.F.
 - INSTALL THRUST BLOCK PER LIBERTY STD. DWG. NO. AV-121 _____ 3 EA.
 - INSTALL FIRE HYDRANT (LATERAL) PER LIBERTY STD. DWG. NO. AV-102 _____ 2 EA.
 - INSTALL P.V. _____ 1 EA.
 - INSTALL 6" GATE VALVE AND VALVE CAN PER LIBERTY STD. DWG. NO. AV-141 _____ 1 EA.
 - INSTALL THRUST BLOCK PER SAN BERNARDINO COUNTY SPECIAL DISTRICT STD. DWG. NO. H-28 _____ 4 EA.
- SEWER CONSTRUCTION NOTES:**
- INSTALL 1,500 GAL. SEPTIC SYSTEM WITH SEEPAGE PITS PER ARCHITECTURAL PLANS _____ 1 EA.
 - INSTALL 6" PVC 80# S8 SEWER LINE _____ 390 L.F.
 - INSTALL 6" WYE _____ 3 EA.
 - INSTALL 6" SEWER CLEAN OUT _____ 8 EA.



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BENCHMARK:
 LOCATION: TOP OF BRASS CAP @ WEST 1/4 CORNER
 SECTION 4, T4N, R2W, S.B.M. PER CSPB 476297
 ELEV=3134.910 (INDVD 25)

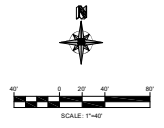
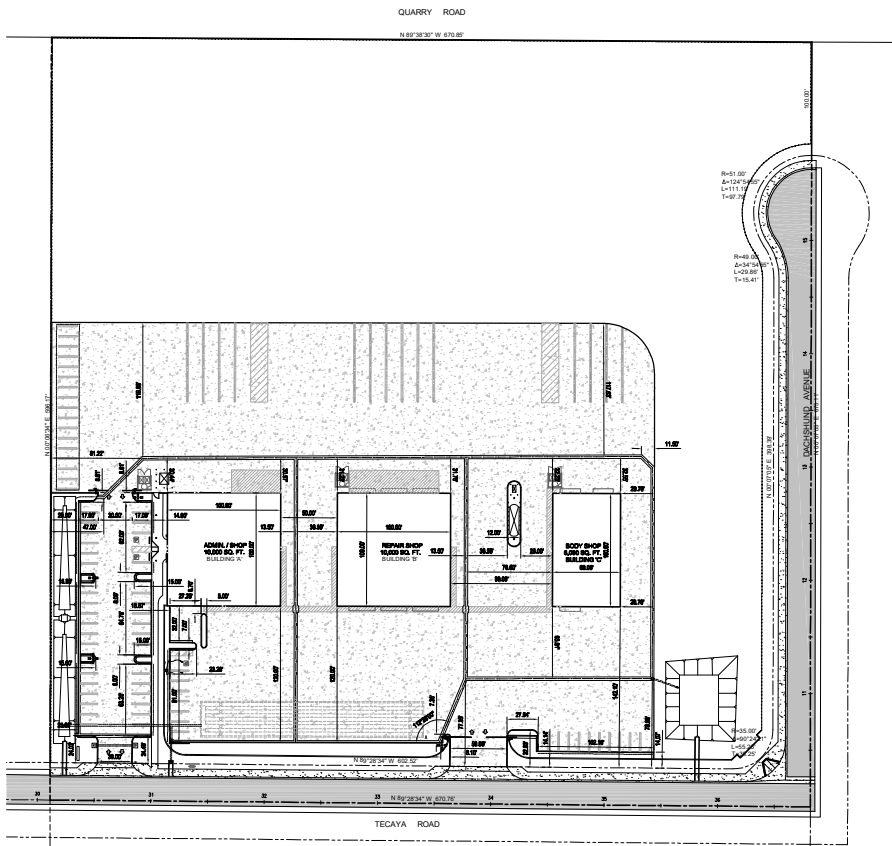
TOWN OF APPLE VALLEY SANBERNARDINO COUNTY
 PREPARED BY:
 ROBERT K. ALLARD
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 476297
 DATE: 12/05/25

Prepared By:
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 Civil Engineering, Land Surveying, Land Planning
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 Phone: (951) 266-1913 Fax: (951) 266-1795

ROBERT K. ALLARD
 R.C.E. 85348
 DATE: 12/05/25

**TOWN OF APPLE VALLEY
 UTILITY PLAN
 APN 0463-441-07
 TECAYA ROAD**

PROJECT NUMBER: _____ SCALE: 1" = 40' SHEET 5 OF 8



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BENCHMARK:
 LOCATION:
 TOP OF BRASS CAP @ WEST 1/4 CORNER
 SECTION 4, T4N, R2W, S.B.M. PER CSPB
 429292
 ELEV=3134.916 (INDVD 29)

TOWN OF APPLE VALLEY ENGINEERING DEPARTMENT
 PERMITTED BY:
 RECORD PLANS, PERMITS, TOWNSHIP ENGINEER
 REVIEW
 THESE PLANS ARE SUBMITTED BY THE TOWN OF APPLE VALLEY FOR
 CONCEPT PURPOSES TO THE TOWN ENGINEER AND REPRESENTS
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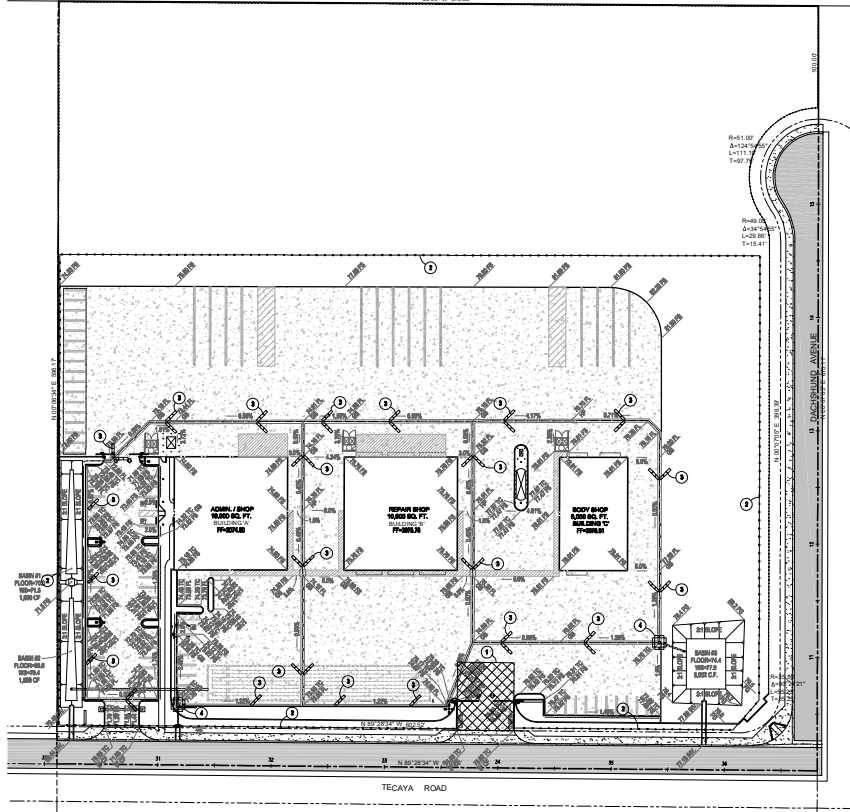
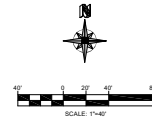
Prepared By:
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 Civil Engineering, Land Surveying, Land Planning
 18888 South Avenue
 Corona, California 92623
 Phone: (951) 366-1913 Fax: (951) 366-1795

Robert K. Allard
 ROBERT K. ALLARD R.C.E. 85349
 12/09/25
 DATE

TOWN OF APPLE VALLEY
HORIZONTAL CONTROL PLAN
 APN 0463-441-07
 TECAYA ROAD

PROJECT NUMBER: _____ SCALE: 1" = 40' SHEET 6 OF 8

QUARRY ROAD
N 89°33'37" W 479.81'



EROSION CONTROL PLAN GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE PLANS AND THE TOWN OF APPLE VALLEY STANDARDS AND SPECIFICATIONS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REVIEW AND SIGN THE STORM WATER POLLUTION PREVENTION PLAN. ALL BMP'S REFERENCED ON THIS PLAN AND THE SUPPLY SHALL BE SUPPLIED BY THE CONTRACTOR/OWNER.
3. IN CASE OF EMERGENCY, CALL:
 - 4. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOV 1 TO APR 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
5. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE GRADING INSPECTOR IF THE GRADING OPERATOR HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
6. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
7. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM.
8. A SANDWICH SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM.
9. EXCEPT AS OTHERWISE APPROVED BY THE GRADING INSPECTOR, ALL REMOVED PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY OR ON WEDNESDAY (WHEN THE 8 DAY RAIN PROBABILITY FORECAST EXCEEDS 4%).
10. ALL LOOSE SOIL AND DEBRIS WHICH MAY CREATE A POTENTIAL HAZARD TO ADJACENT PROPERTY SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE GRADING INSPECTOR.
11. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.
12. DESTROYING BARRIERS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN NOVEMBER 1 AND APRIL 15 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE COUNTY INSPECTOR.
13. EROSION CONTROL DEVICES ARE TO BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES AND PLANS OF THESE CHANGES MUST BE SUBMITTED FOR APPROVAL AS REQUIRED.

REFERENCE BMP'S

- 1 TC1/CS STABILIZED CONSTRUCTION ENTRANCE/TREX WASH
 - 2 SE-1 SILT FENCE
 - 3 SBW BANDING BARRIER
 - 4 SB10 STORM DRAIN INLET PROTECTION
- REFERENCE BMP'S BUT NOT USED:
- 5 WE1 WIND EROSION CONTROL
 - 6 ECI SCHEDULING
 - 7 NW1 WATER CONSERVATION PRACTICES
 - 8 NPS PAVING AND GRADING OPERATIONS
 - 9 NBS SLEET CONNECTIONS/CHASSIS
 - 10 HST PORTABLE WATER/IRRIGATION
 - 11 NBR VEHICLE AND EQUIPMENT CLEANING
 - 12 NBR VEHICLE AND EQUIPMENT FUELING
 - 13 NS10 VEHICLE AND EQUIPMENT MAINTENANCE
 - 14 NBS12 CONCRETE CURING
 - 15 NBS CONCRETE FINISHING
 - 16 NMS MATERIAL DELIVERY AND STORAGE
 - 17 VMS MATERIAL USE
 - 18 VMS STOCKPILE MANAGEMENT
 - 19 VMS SPILL PREVENTION AND CONTROL
 - 20 VMS HAZARDOUS WASTE MANAGEMENT
 - 21 VMS BATTERY/BIOPHYTIC WASTE MANAGEMENT
 - 22 SB7 STREET SWEEPING

BMP LEGEND



1580 OLD DAVIS PARKWAY
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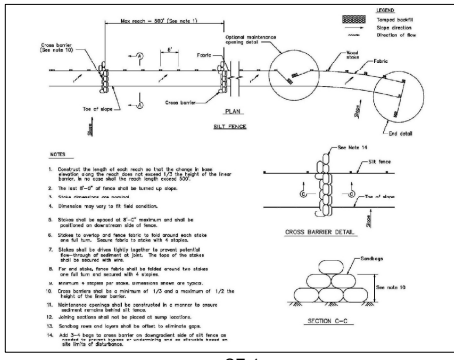
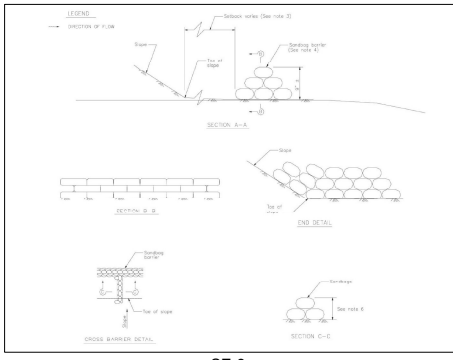
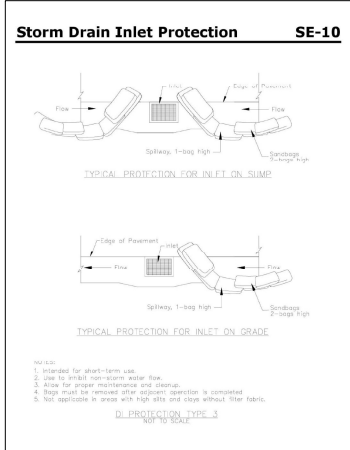
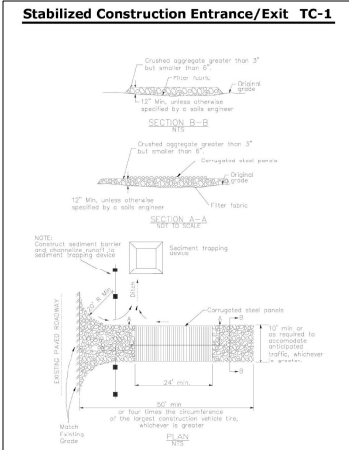
BENCHMARK:
LOCATION: TOP OF BRASS CAP @ WEST 1/4 CORNER, SECTION 4, T8N, R20W, S.B.M. PER CSDP 4759291
ELEV=3134.916 (INDVD 29)

TOWN OF APPLE VALLEY ENGINEERING DEPARTMENT
PERMITTED BY: [Signature]
RECORDED PERMITS, TOWN ENGINEER [Signature] DATE: 12/09/25
THESE PLANS ARE OWNED BY THE TOWN OF APPLE VALLEY FOR CONCEPT PURPOSES TO THESE ENGINEERING AND REGULATORY ONLY. THE TOWN OF APPLE VALLEY IS NOT RESPONSIBLE FOR DESIGN, MERCHANTABILITY AND ACCURACY.

Prepared By:
ALLARD ENGINEERING
Civil Engineering, Land Surveying, Land Planning
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Eureka, California 92501
Phone: (832) 366-1913 Fax: (832) 366-1793
[Signature] 12/09/25 DATE: [Signature]
ROBERT K. ALLARD R.C.E. 85348

TOWN OF APPLE VALLEY
EROSION CONTROL PLAN
APN 0463-441-07
TECAYA ROAD

PROJECT NUMBER: [Blank] SCALE: 1" = 40' SHEET 7 OF 8



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Know what's below.
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BENCHMARK:
LOCATION:
 TOP OF BRASS CAP @ WEST 1/4 CORNER
 SECTION 4, T4N, R24W, S.B.M. PER CSPB
 4752927
 ELEV: 9134.910 (INDVD 29)

TOWN OF APPLE VALLEY ENGINEERING DEPARTMENT
PERMIT NO.
ISSUED BY:
DATE:
REVISIONS:

Prepared By:
ALLARD ENGINEERING
 Civil Engineering, Land Surveying, Land Planning
 18880 Soledad Avenue
 Colton, California 95310
 Phone: (925) 366-1013 Fax: (925) 366-1793

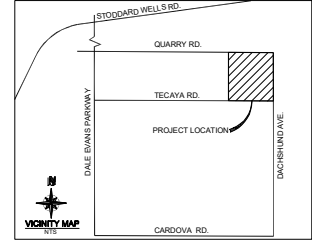
ROBERT K. ALLARD R.C.E. 65348

12/09/25

TOWN OF APPLE VALLEY
EROSION CONTROL DETAILS
 APN 0463-441-07
 TECAYA ROAD

PROJECT NUMBER: _____ SCALE: NONE SHEET 8 OF 8

TOWN OF APPLE VALLEY STREET IMPROVEMENT PLANS TECAYA ROAD & DACHSHUND AVENUE APN 0463-441-07



STREET IMPROVEMENT GENERAL NOTES

- CONTRACTOR SHALL OBTAIN A PERMIT FROM THE ENGINEERING DEPARTMENT PRIOR TO PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMAL INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND THE TRAVELING PUBLIC. FAILURE TO COMPLY WITH THIS REQUIREMENT IS A VIOLATION OF THE COUNTY CODE AND HIGHWAY FRONT CODE.
- ENGINEERING DEPARTMENT APPROVAL DOES NOT INCLUDE WATER OR SEWER SYSTEM APPROVAL OR ESTIMATE OF QUANTITIES.
- ALL WORK, LABOR & MATERIALS SHALL BE IN CONFORMANCE WITH THE STANDARDS AND CODES REQUIRED BY THE TOWN OF APPLE VALLEY. THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("STANDARD" LATEST EDITION), SAN BERNARDINO COUNTY TRANSPORTATION (ROAD) DEPARTMENT STANDARD PLANS, THESE PLANS AND SPECIFICATIONS, AND ALL SAFETY REGULATIONS, CODES AND REQUIREMENTS PERTAINING TO THE PROJECT CONSTRUCTION CONTRACTOR SHALL HAVE A COPY OF ALL REFERENCE STANDARDS AT THE JOB SITE AT ALL TIMES.
- COMPACTION TESTS OF EMBANKMENT CONSTRUCTION, TRENCH BACKFILL, NATIVE AND AGGREGATE BASE MATERIALS FOR SUBGRADES, AND ASPHALT PAVEMENT SURFACES SHALL BE PERFORMED AT 100% TO THE TOWN OF APPLE VALLEY. A WRITTEN REPORT WITH THE RESULTS OF COMPACTIONS TEST SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO PLACEMENT OF SUBSEQUENT MATERIALS (AND/OR SURFACING).
- SUBGRADE MATERIAL UNDER PAVED AREAS SHALL BE SCARIFIED DOWN 12 INCHES BELOW FINISH SUBGRADE, MOISTENED AND CONDITIONED TO OPTIMUM MOISTURE CONTENT, AND RECOMPACTED TO 95% NUCLEATIVE COMPACTION.
- ALL STREET STATIONING REFERS TO THE CENTERLINE OF THE ROADWAY, AND CURB DATA REFERS TO THE FACE OF THE CURB UNLESS SPECIFICATED.
- ALL CONSTRUCTION STAKING SHALL BE DONE BY THE CONTRACTOR'S LICENSED LAND SURVEYOR AND CERTIFIED IN WRITING AS TO LINE AND GRADE APPROVED PLANS AND SUBMITTED TO THE ENGINEER AND QUANTITY SURVEYOR SHALL BE SET TO ENABLE THE CONTRACTOR TO CONSTRUCT THE WORK TO THE PLAN GRADES AND FOR VERIFICATION BY THE TOWN INSPECTOR.
- ALL CURB GRADIENTS SHALL BE STAKED AT 20 FOOT INTERVALS AND FORMS SHALL BE VERIFIED BY THE ENGINEER PRIOR TO PLACING CONCRETE CURB AND GUTTERS. CROSS GUTTERS AND SPANWALKS SHALL BE CONSTRUCTED SO THAT NO PONDING OCCURS. SECTIONS HAVING A GRADE OF 0.5% OR LESS SHALL BE WATER TESTED IN THE PRESENCE OF THE INSPECTOR IMMEDIATELY UPON ACCEPTANCE. SECTIONS HAVING A GRADE OF 0.5% OR MORE SHALL BE SAWCUT AND REMOVED AS DIRECTED AND REPLACED TO ELIMINATE PONDING.
- ALL PRELIMINARY AND FINAL PLANS SHALL BE SAWCUT AND REMOVED AS DIRECTED AND REPLACED TO ELIMINATE PONDING.
- ALL PRELIMINARY AND FINAL PLANS SHALL BE SAWCUT AND REMOVED AS DIRECTED AND REPLACED TO ELIMINATE PONDING.
- NO CONTRACTOR SHALL COMBINE FROM 10:00 A.M. EACH WORKING DAY WORK ON ONE DAY AND MEASUREMENTS IS NOT ALLOWED IN THE RIGHT-OF-WAY WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE ENGINEERING DEPARTMENT.
- APPROVAL OF THE PLANS BY THE CITY AGENTS DOES NOT RELIEVE THE DEVELOPER OR ENGINEER OF RECORD FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND/OR OMISSIONS DISCOVERED DURING CONSTRUCTION. PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW.
- AS-BUILT CHANGES OR REVISIONS TO THE PLANS SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO FINAL APPROVAL OF THE PROJECT. FINAL AS-BUILT RECORD DRAWINGS SHALL BE PREPARED AND SIGNED BY THE ENGINEER OF RECORD.
- NO WORK SHALL BE DONE ON ADJACENT PROPERTIES OR ADJACENT OWNERS IMPROVEMENTS WITHOUT OBTAINING WRITTEN PERMISSION FROM THE OWNER OF THE PROPERTY AND RECORD A COPY THEREOF TO THE TOWN ENGINEER.
- ALL UNDERGROUND UTILITY OR TRAFFIC SIGNAL WORK SHALL BE COMPLETE PRIOR TO ANY SURFACE WORK IN THE RIGHT-OF-WAY.
- ANY LOT CORNER, BENCHMARK, MONUMENT, OR OTHER DISTURBED OR MODIFIED SHALL BE RESTORED IN ACCORDANCE WITH STATE REGULATIONS AND AS DIRECTED BY THE TOWN SURVEYOR.
- PROJECT SITE SHALL BE MAINTAINED IN A "NEAT AND ORDERLY" CONDITION TO THE DEGREE NECESSARY TO PREVENT EXCESSIVE DUST LEAVING THE SITE.
- ALL EXISTING DRAINAGE COURSES ON THE PROJECT MUST CONTINUE TO FUNCTION DURING STORM CONDITIONS IN ACCORDANCE WITH APPROVED BEST MANAGEMENT PRACTICES AND SWPPP DOCUMENTS, AND THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM DAMAGE FROM STORM WATER RUNOFF RESULTING FROM WORK IN CONNECTION WITH THIS CONSTRUCTION.

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES, CONDUITS, AND STRUCTURES SHOWN AND ANY OTHER LINES NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND ASSUME ALL LIABILITY FOR ANY DAMAGE DONE TO EXISTING UTILITIES THAT ARE SHOWN OR NOT SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO ANY GRADING OR CONSTRUCTION NEAR THESE UTILITIES.

- ALL EXISTING OR NEW IMPROVEMENTS, INCLUDING CURB, GUTTERS, SIDEWALKS, AND ASPHALT PAVING, WHICH ARE BEING JOINED OR MATCHED IN CONNECTION WITH THE PROJECT SHALL BE JOINED OR MATCHED IN A CLEAN STRAIGHT LINE IN A MANNER SATISFACTORY TO THE TOWN ENGINEER. INCLUDING NECESSARY SAWCUTTING, COLD MILLING, REMOVAL, REPAIR, AND CAPPING.
- THE GRADE OF PAVING ASPHALT SHALL BE 1/4" AND THE AGGREGATE SHALL BE MATCHED OR TYPICAL AS DETERMINED BY THE TOWN ENGINEER.
- THE MAXIMUM SINGLE LANE OF HOT MIX ASPHALT PAVING ASPHALT SHALL BE 2 INCHES UNLESS OTHERWISE APPROVED BY THE TOWN ENGINEER.
- MANHOLES AND VALVE BOX FRAMES SHALL BE ADJUSTED TO FINISHED GRADE AFTER COMPLETION OF THE PAVEMENT CONSTRUCTION IN ACCORDANCE WITH THE STANDARDS OF THE FACILITY OWNER.

TEMPORARY TRAFFIC CONTROL GENERAL NOTES:

- ALL TRAFFIC CONTROL DEVICES, INCLUDING SIGNS, DELINEATORS, AND BARRICADES, AND THE PLACEMENT AND MAINTENANCE THEREOF SHALL CONFORM TO THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
- CONTRACTOR SHALL NOTIFY THE TOWN OF APPLE VALLEY ENGINEERING DEPARTMENT AT (760) 246-7024 AT LEAST TWO WORKING DAYS PRIOR TO START OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING WORK WITHIN THE PUBLIC RIGHT-OF-WAY TO PLACE AND MAINTAIN THE TRAFFIC CONTROL DEVICES AS SHOWN HEREIN, AS WELL AS ANY SUCH ADDITIONAL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE TOWN ENGINEER.
- THE TOWN OF APPLE VALLEY ENGINEERING DEPARTMENT RESERVES THE RIGHT TO OBSERVE THESE TRAFFIC CONTROL PLANS IN USE AND TO DIRECT ANY NECESSARY CHANGES AS FIELD CONDITIONS WARRANT.
- ALL DELINEATORS AND SIGNS SHALL BE RETROREFLECTIVE FOR USE AT NIGHT.
- ALL TRAFFIC CONTROL DEVICES SHALL BE SUFFICIENTLY SECURED, DOUBLE BARRIERS, OR OVERTIGHT WITH ANCHORS TO PREVENT DISPLACEMENT BY HIGH WINDS.
- ALL TRAFFIC LINES SHALL HAVE A MINIMUM OF 5 FEET OF CLEARANCE FROM OPEN EXCAVATIONS AND A MINIMUM OF 2 FEET FROM VERTICAL OBSTRUCTIONS. CONTRACTOR SHALL INSTALL "OPEN TRENCH" (OT) SIGNS WHENEVER AN OPEN EXCAVATION AREA EXISTS ADJACENT TO THE TRAFFIC LINES.
- ALL TRAFFIC CONTROL DEVICES SHALL BE KEPT IN THEIR PROPER POSITIONS AT ALL TIMES DURING WORKING HOURS AND SHALL BE REPAIRED, REPLACED OR CLEANED AS NECESSARY TO PRESERVE THEIR APPEARANCE AND CONTINITY.
- CONTRACTOR SHALL PROVIDE ADDITIONAL FLAGGERS AS DEEMED NECESSARY BY THE TOWN OF APPLE VALLEY ENGINEERING DEPARTMENT.
- ALL ADVANCED WARNING SIGNS SHALL BE EQUIPPED WITH FLASHING DIRECTIONAL LIGHTS AND WITH WARNING LIGHTS AT NIGHT.
- ALL TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE REMOVED FOLLOWING COMPLETION OF EACH CONSTRUCTION STAGE AND THE PERMANENT TRAFFIC CONTROL SHALL BE RESTORED BY THE CONTRACTOR UPON COMPLETION OF PROJECT.
- CONTRACTOR SHALL MAINTAIN PEDESTRIAN ACCESS AT ALL TIMES UNLESS MODIFIED AS SHOWN ON THIS PLAN. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND MAINTAIN ACCESSIBILITY AS RELATED TO PEDESTRIAN ACCESS AT ALL TIMES PER THESE REQUIREMENTS. SIDEWALK CLOSURE DETOUR SHALL COMPLY WITH THE LATEST EDITION OF THE CA MUTCD.
- CONTRACTOR SHALL COVER OR REMOVE ALL CONSTRUCTION DEBRIS.
- CONTRACTOR SHALL NOTIFY ALL ADJACENT RESIDENTS AND BUSINESSES FIVE WORKING DAYS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. CONSTRUCTION OPERATIONS SHALL BE CONDUCTED IN A MANNER TO CAUSE LITTLE INCONVENIENCE AS POSSIBLE TO ADJUTING PROPERTY OWNERS/OPERATORS.
- CONTRACTOR SHALL MAINTAIN PEDESTRIAN ACCESS TO SCHOOLS.
- CONTRACTOR SHALL COORDINATE ALL TRAFFIC CONTROL OPERATIONS WITH SCHOOL STAFF TO MINIMIZE IMPACT TO SCHOOL TRAFFIC AND PEDESTRIANS.
- CONTRACTOR SHALL SCHEDULE WORK TO AVOID PEAK SCHOOL TRAFFIC HOURS.

PRIVATE ENGINEERS NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN AND ANY OTHER LINES SHOWN AND ANY OTHER LINES NOT SHOWN OR NOT SHOWN ON THESE PLANS.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE REQUIREMENT SHALL BE MADE TO APPLY CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN.

UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

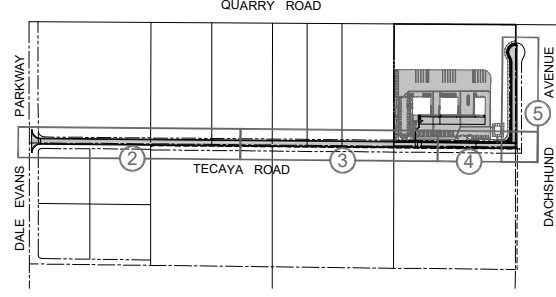
Know what's below. Call before you dig.

14605 DALE EVANS PARKWAY
APPLE VALLEY, CA 92507
TEL: 760.246.3000
FAX: 760.246.7099
WEB SITE: www.applevalley.org

BENCHMARK:

TOP OF BRASS CAP @ WEST 1/4 CORNER
SECTION 4 T1N, R06E, S18M PER SPG
475708
ELEV=+314.910 (NOV20 25)

Prepared By
ALLARD ENGINEERING
Civil Engineering (Lead) Planning
1800 Santa Ana Avenue
Fountain, California 92535
Phone: (951) 366-1915 Fax: (951) 366-1975



CONSTRUCTION NOTES:

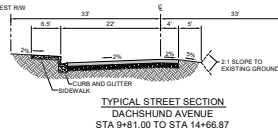
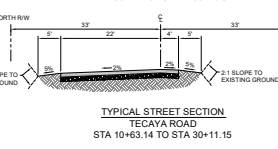
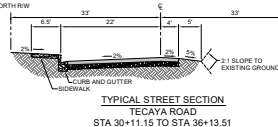
- SAWCUT EXISTING PAVEMENT TO A CLEAN STRAIGHT LINE, 2" MINIMUM
- REMOVE EXISTING PAVEMENT TO THE LIMITS SHOWN
- CONSTRUCT 6" CURB AND GUTTER PER SBDO STD. 115
- CONSTRUCT 6" WIDE CONCRETE SIDEWALK PER SBDO STD. 105
- CONSTRUCT RESIDENTIAL DRIVE APPROACH PER SBDO STD. 108B
- CONSTRUCT AC PAVEMENT OVER AGGREGATE BASE PER SOLS ENGINEERS RECOMMENDATIONS
- CONSTRUCT CURB RETURN WITH SIDEWALK RAMP PER SBDO STD. 110
- CONSTRUCT CROSS GUTTER PER SBDO STD. 119
- CONSTRUCT PARKWAY DRAIN PER SBDO STD. 151-2

SHEET INDEX:

- TITLE SHEET
- TECAYA ROAD PLAN & PROFILE (STA. 1040+00 - 22+00.00)
- TECAYA ROAD PLAN & PROFILE (STA. 22+00.00 - 30+00.00)
- TECAYA ROAD PLAN & PROFILE (STA. 30+00.00 - 36+13.51)
- DACHSHUND AVENUE PLAN & PROFILE (STA. 9+81.00 - 10+24.11)

LEGEND:

- INDICATES PROPOSED CONCRETE
- INDICATES PROPOSED AC PAVEMENT
- INDICATES PROPERTY LINE
- INDICATES EXISTING ELEVATION
- INDICATES FUTURE ELEVATION
- INDICATES TOP OF CURB
- INDICATES FLOWLINE
- INDICATES FINISH SURFACE
- INDICATES EXISTING GRADE



OWNER:
DRAFT QUARRY 1 LLC
PO BOX 20220
PHOENIX, AZ 85029

ENGINEER:
ALLARD ENGINEERING
1800 SANTA ANA AVENUE
FOUNTAIN, CA 92535
(951) 366-1915

LEGAL DESCRIPTION:
APN: 0463-441-07
THE NORTH EAST 1/4 OF THE NORTH EAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 14, TOWNSHIP 6 NORTH, RANGE 4 WEST, S.18M.

TOWN OF APPLE VALLEY UTILITY NOTIFICATION LIST:

| | |
|---|--|
| LIBERTY UTILITIES (760) 247-6444 | APPLE VALLEY FIRE DEPARTMENT (760) 247-7070 |
| SOUTHWEST GAS CORPORATION (760) 951-4188 | CHARTER CABLE (760) 943-3070 |
| SOUTHERN CALIFORNIA EDISON COMPANY (760) 951-5131 | UNDERGROUND SERVICE ALERT (811) (877) 955-4265 |

SOILS ENGINEERS STATEMENT
I HEREBY REPRESENTING MY INVESTMENTS, INC. INDICATE THAT RECOMMENDATIONS CONTAINED IN REPORT NO. PERTAINING TO SOILS ENGINEERING CONDITIONS HAVE BEEN COMPLIED WITH TO OUR SATISFACTION. THE CONTRACTOR IS NOT TO BE CONSIDERED AS AN AUTHENTICATION OF ANY DIMENSIONS OR ELEVATIONS SHOWN ON THESE PLANS.

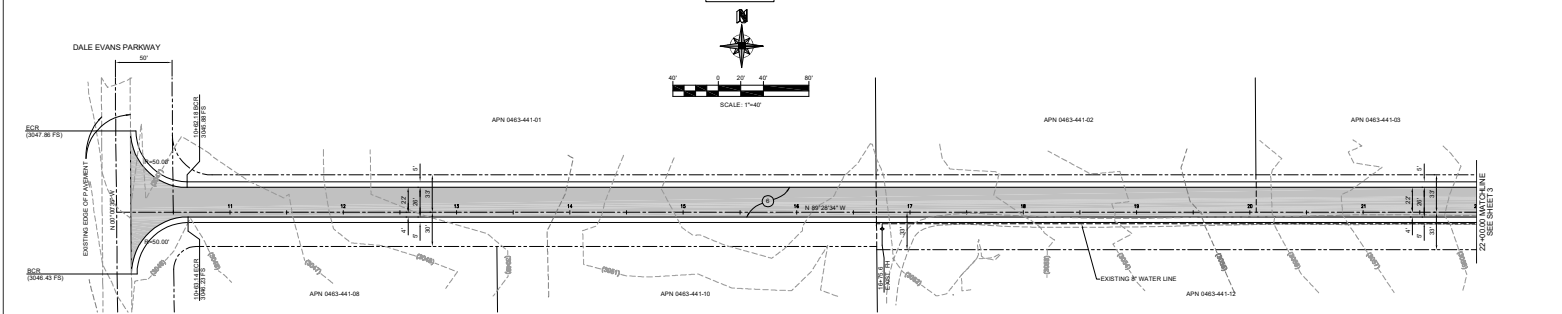
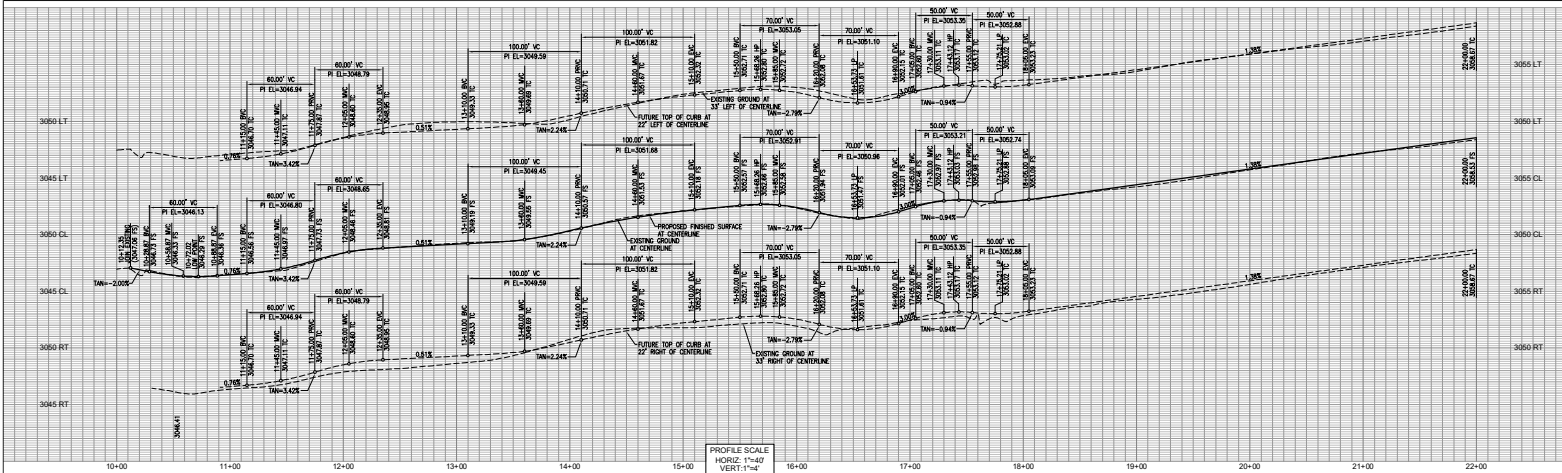
DATE: _____ REEF: _____
BY: _____

DECLARATION OF ENGINEER OF RECORD
I HEREBY DECLARE THAT IN MY PROFESSIONAL OPINION, THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLIES WITH THE CURRENT PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES AS THE ENGINEER IN RESPONSIBLE CHARGE OF THE DESIGN OF THESE IMPROVEMENTS. I ACCEPT FULL RESPONSIBILITY FOR SUCH DESIGN, UNDERTAKING AND ACKNOWLEDGE THAT THE PLAN CHECK OF THESE PLANS BY THE TOWN OF APPLE VALLEY IS A REVIEW FOR THE ABOVE OTHER APPLICABLE CODES AND ORDINANCES. THE PLAN REVIEW PROCESS IS NOT A DETERMINATION OF THE TECHNICAL ADEQUACY OF THE DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT THEREFORE RELIEVE ME OF MY PROFESSIONAL RESPONSIBILITY LIMITED PURPOSE OF ENSURING THAT THESE PLANS COMPLY WITH THE TOWN'S PROCEDURES AS THE ENGINEER OF RECORD. I AGREE TO DEFEND AND INDEMNIFY THE TOWN OF APPLE VALLEY, ITS OFFICERS, ITS AGENTS, AND ITS EMPLOYEES FROM ANY AND ALL LIABILITY, CLAIMS, DAMAGES, OR INJURIES TO ANY PERSON OR PROPERTY ARISING FROM NEGLIGENCE, ACTS, ERRORS, OR OMISSIONS OF THE ENGINEER OF RECORD, HIS EMPLOYEES, HIS AGENTS OR HIS CONSULTANTS.

DATE: _____
SIGNATURE: *Robert K. Allard*
LICENSE NO. 85349

SITE CONDITION RESPONSIBILITY
CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE REQUIREMENT SHALL BE MADE TO APPLY CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER.

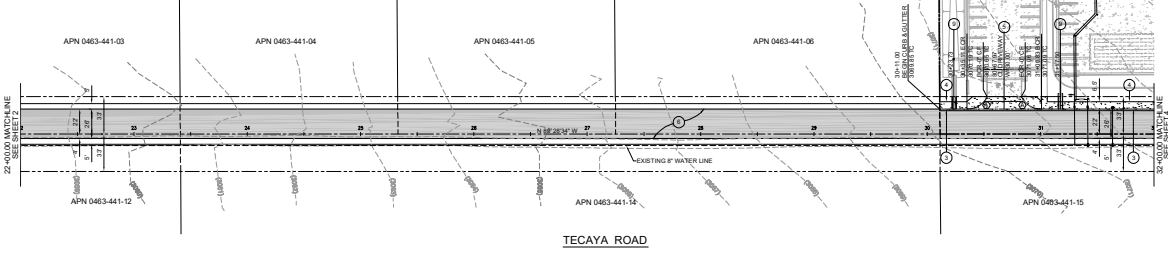
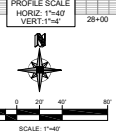
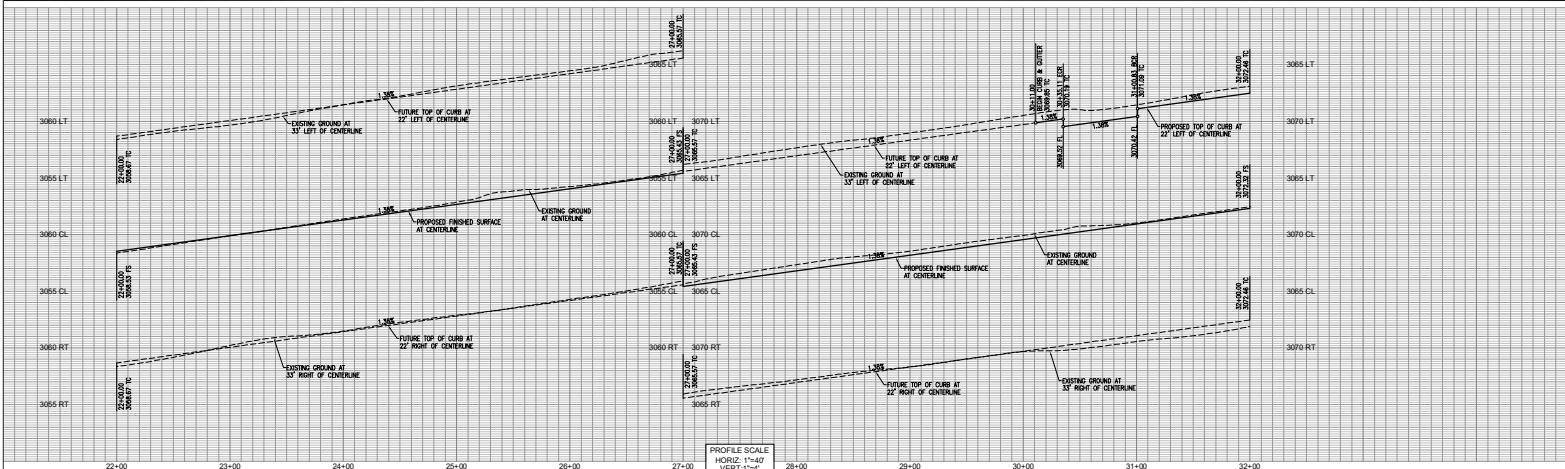
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|--|--|--|---|--|---|--|
| | <p>14605 DALE EVANS PARKWAY APPLE VALLEY, CA 92507 TEL: 760.246.3000 FAX: 760.246.7099 WEB SITE: www.applevalley.org</p> | <p>BENCHMARK:</p> <p>TOP OF BRASS CAP @ WEST 1/4 CORNER SECTION 4 T1N, R06E, S18M PER SPG 475708 ELEV=+314.910 (NOV20 25)</p> | <p>Prepared By ALLARD ENGINEERING Civil Engineering (Lead) Planning 1800 Santa Ana Avenue Fountain, California 92535 Phone: (951) 366-1915 Fax: (951) 366-1975</p> | <p>TOWN OF APPLE VALLEY ENGINEERING DIVISION</p> <p>APPROVED: _____ DATE: _____ TOWN ENGINEER</p> <p>RECOMMENDED PROFESSIONAL RCE 4087 DATE: _____</p> <p>THESE PLANS ARE SIGNED BY THE TOWN OF APPLE VALLEY FOR CONSENT AND AGREEMENT TO JOHN ENGINEERING REQUIREMENTS ONLY. THE TOWN OF APPLE VALLEY IS NOT RESPONSIBLE FOR DESIGN ASSUMPTIONS AND ACCURACY.</p> | <p>STREET IMPROVEMENT PLANS</p> <p>TECAYA RD. & DACHSHUND RD.</p> <p>TOWN OF APPLE VALLEY</p> | <p>FILING NO. DATE: DECEMBER 2025 DRAWING NO. SHEET 1 of 5</p> |
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CONSTRUCTION NOTES:

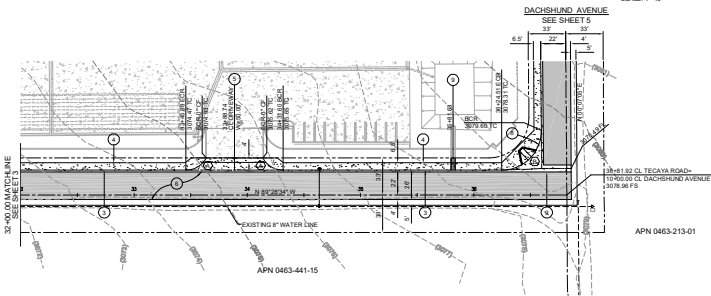
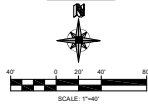
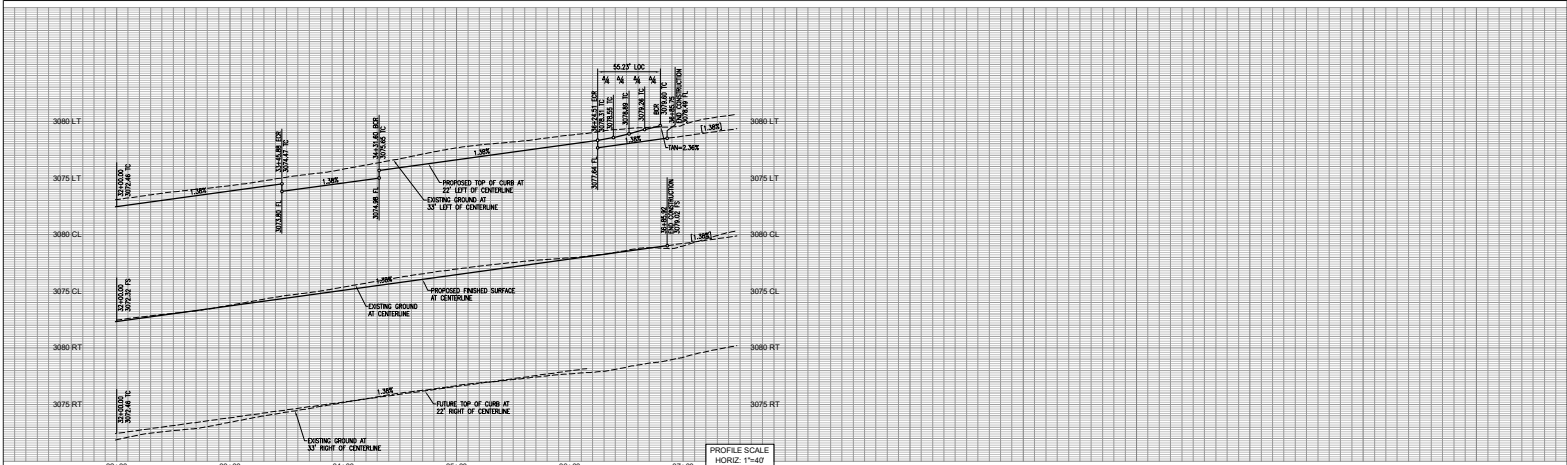
- 1. SAWCUT EXISTING PAVEMENT TO A CLEAN STRAIGHT LINE. 2" MINIMUM
- 2. REMOVE EXISTING PAVEMENT TO THE LIMITS SHOWN
- 3. CONSTRUCT 4" CURBS AND GUTTER PER SBCCO STD. 115
- 4. CONSTRUCT 6" WIDE CONCRETE SIDEWALK PER SBCCO STD. 109
- 5. CONSTRUCT RESIDENTIAL DRIVE APPROACH PER SBCCO STD. 129B
- 6. CONSTRUCT "AC PAVEMENT OVER" AGGREGATE BASE PER SOLE ENGINEERS RECOMMENDATIONS
- 7. CONSTRUCT CURBS RETURN WITH SIDEWALK RAMP PER SBCCO STD. 110
- 8. CONSTRUCT CROSS GUTTER PER SBCCO STD. 119
- 9. CONSTRUCT PARKWAY DRAIN PER SBCCO STD. 151-2

| | | | | | | | | | | | | | | | |
|--|--|---|--|--|--|-----------|-------|--|--|----------------------|-------|----------------|--|---|---|
| <p>Know what's below. Call before you dig.</p> | <p>14955 DALE EVANS PARKWAY APPLE VALLEY, CA 92527 TEL: (760) 245-3000 FAX: (760) 245-7399 WEB SITE: www.applevalley.org</p> | <p>BENCHMARK:</p> <p>TOP OF BRASS CAP @ WEST 1/4 CORNER, SECTION 4 T1N, R2W, S 8.M. PER CIPB 4762627 ELEV=3134.910 (NGVD 29)</p> | | <p>Prepared By: ALLARD ENGINEERING Civil Engineering - Land Surveying - Land Planning 1899 South Avenue Brea, California, 92625 Phone: (951) 366-1815 Fax: (951) 366-1725</p> | <p>TOWN OF APPLE VALLEY ENGINEERING DIVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>APPROVED:</td> <td>DATE:</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td>DESIGNED: RCE 4/8/07</td> <td>DATE:</td> </tr> <tr> <td>TOWN ENGINEER:</td> <td> </td> </tr> </table> <p>THESE PLANS ARE SIGNED BY THE TOWN OF APPLE VALLEY FOR CONCEPT ADHERENCE TO LOCAL ENGINEERING REQUIREMENTS ONLY. THE TOWN OF APPLE VALLEY ENDS RESPONSIBILITY FOR DESIGN ASSUMPTIONS AND ACCURACY.</p> | APPROVED: | DATE: | | | DESIGNED: RCE 4/8/07 | DATE: | TOWN ENGINEER: | | <p>STREET IMPROVEMENT PLANS</p> <p>TECAYA RD. & DACHSHUND RD. TECAYA ROAD PLAN & PROFILE STA. 10+00.00 - STA. 22+00.00 TOWN OF APPLE VALLEY</p> | <p>FILED NO. DATE: DECEMBER 2005 DRAWING NO. SHEET 2 of 5</p> |
| APPROVED: | DATE: | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | |
| DESIGNED: RCE 4/8/07 | DATE: | | | | | | | | | | | | | | |
| TOWN ENGINEER: | | | | | | | | | | | | | | | |



- CONSTRUCTION NOTES:**
- SAWCUT EXISTING PAVEMENT TO A CLEAN STRAIGHT LINE. 2" MINIMUM
 - RESURF EXISTING PAVEMENT TO THE LIMITS SHOWN
 - CONSTRUCT 6" WIDE CONCRETE SIDEWALK PER SB80 STD. 115
 - CONSTRUCT 6" WIDE CONCRETE SIDEWALK PER SB80 STD. 109
 - CONSTRUCT RESIDENTIAL DRIVE APPROACH PER SB80 STD. 109B
 - CONSTRUCT AC PAVEMENT OVER AGGREGATE BASE PER SOILS ENGINEER'S RECOMMENDATIONS
 - CONSTRUCT CURB RETURN WITH SIDEWALK RAMP PER SB80 STD. 115
 - CONSTRUCT CROSS GUTTER PER SB80 STD. 119
 - CONSTRUCT PARKWAY DRAIN PER SBPPWC STD. 151-2
- CURVE DATA TABLE**
- | STATION | DELTA | LENGTH | TANGENT |
|---------|--------|-----------|-----------------|
| A | 20.98° | 191.9271' | 20.98' 19.32' |

| | | | | | | | |
|---|--|--|--|---|--|--|---|
| <p>Know what's below. Call before you dig.</p> | <p>14955 DALE EVANS PARKWAY APPLE VALLEY, CA 95927 TEL: (916) 240-7000 FAX: (916) 240-7000 WEB SITE: www.applevalley.org</p> | <p>BENCHMARK:</p> <p>TOP OF BRASS CAP @ WEST 1/4 CORNER, SECTION 4 T1N, R1W, S 8 M PER CIPB 4792087 ELEV=9134.910 (NGVD 29)</p> | | <p>Prepared by:</p> <p>ALLARD ENGINEERING Civil Engineering - Land Surveying - Land Planning 1880 Santa Avenue Eureka, California, 95505 Phone: (707) 396-1815 Fax: (707) 396-1725</p> | <p>TOWN OF APPLE VALLEY ENGINEERING DIVISION</p> <p>APPROVED: _____ TOWN ENGINEER</p> <p>RECORDED PREDECESSION RICE 48587 DATE: _____</p> <p>THESE PLANS ARE SIGNED BY THE TOWN OF APPLE VALLEY FOR CONSENT AND ADEQUACY TO COMMENCEMENT AND REQUIREMENTS ONLY. THE TOWN OF APPLE VALLEY IS NOT RESPONSIBLE FOR DESIGN ASSUMPTIONS AND ACCURACY.</p> | <p>STREET IMPROVEMENT PLANS</p> <p>TECAYA RD. & DACHSHUND RD.</p> <p>TECAYA ROAD PLAN & PROFILE STA. 22+00.00 - STA. 32+00.00 TOWN OF APPLE VALLEY</p> | <p>FILED NO. _____ DATE: DECEMBER 2025 DRAWING NO. _____ SHEET 3 of 5</p> |
| <p>DESIGNED: DBW/MC DRAWN: DBW/MC REVIEWED: RKA</p> | | | | <p>DATE: _____</p> | | | |

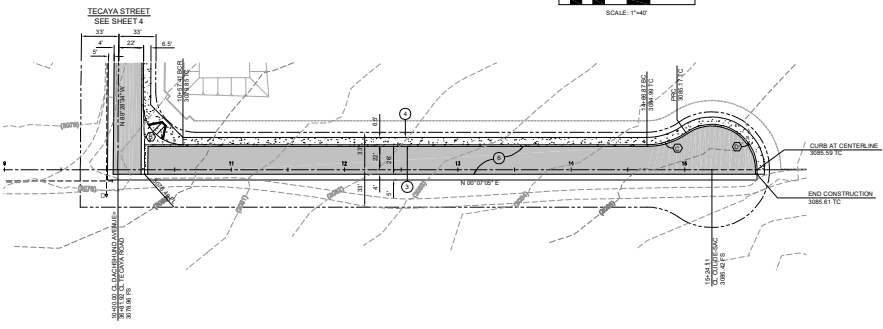
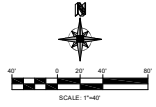
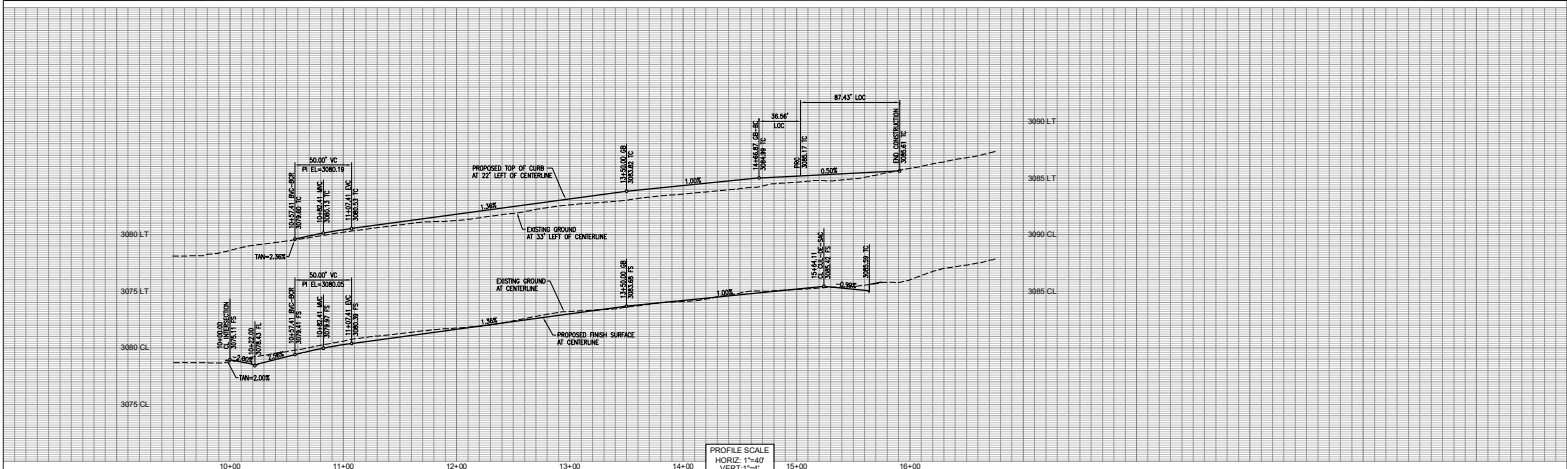


- CONSTRUCTION NOTES:**
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 - 4. CONSTRUCT 6" WIDE CONCRETE SIDEWALK PER SBCCO STD. 109
 - 5. CONSTRUCT RESIDENTIAL DRIVE APPROACH PER SBCCO STD. 128
 - 6. CONSTRUCT AC PAVEMENT OVER ADHESIVE BASE PER SOILS ENGINEER'S RECOMMENDATIONS
 - 7. CONSTRUCT CURB RETURN WITH SIDEWALK RAMP PER SBCCO STD. 110
 - 8. CONSTRUCT CROSS GUTTER PER SBCCO STD. 119

CURVE DATA TABLE

| STATION | RADIUS | DELTA | LENGTH | TANGENT |
|---------|--------|-------|--------|---------|
| 1+00 | 100 | 180 | 157.08 | 58.81 |
| 2+00 | 100 | 180 | 157.08 | 58.81 |
| 3+00 | 100 | 180 | 157.08 | 58.81 |

| | | | | | | | |
|---|--|---|--|---|--|---|--|
| <p>Know what's below. Call before you dig.</p> | <p>14955 DALE EVANS PARKWAY APPLE VALLEY, CA 95927 PHONE: (707) 240-7000 FAX: (707) 240-7000 WEB SITE: www.applevalley.org</p> | <p>BENCHMARK:</p> <p>TOP OF BRASS CAP @ WEST 1/4 CORNER, SECTION 4 T1N, R2W, S 8.M. PER CIPB 4216287 ELEV=+314.910 (NGVD 29)</p> | | <p>Prepared By: ALLARD ENGINEERING Civil Engineering - Land Planning 1800 South Avenue Eureka, California, 95501 Phone: (800) 366-1815 Fax: (707) 366-1705</p> | <p>TOWN OF APPLE VALLEY ENGINEERING DIVISION</p> | <p>STREET IMPROVEMENT PLANS</p> <p>TECAYA RD. & DACHSHUND RD. TECAYA ROAD PLAN & PROFILE STA. 32+00.00 - STA. 36+51.92 TOWN OF APPLE VALLEY</p> | <p>FILED NO. DATE DECEMBER 2025 DRAWING NO. SHEET 4 of 5</p> |
| <p>DESIGNED: DBW/MC DRAWN: DBW/MC REVIEWED: RKA</p> | | | | <p>APPROVED: _____ DATE: _____ TOWN ENGINEER</p> <p>RECORDED/FILED PER: RCE 4887 DATE: _____</p> <p>THESE PLANS ARE SIGNED BY THE TOWN OF APPLE VALLEY FOR CONCEPT ADHERENCE TO LOCAL ENGINEERING REQUIREMENTS ONLY. THE TOWN OF APPLE VALLEY IS NOT RESPONSIBLE FOR DESIGN ASSUMPTIONS AND ACCURACY.</p> | | | |



- CONSTRUCTION NOTES:**
- SAWCUT EXISTING PAVEMENT TO A CLEAN STRAIGHT LINE. 2" MINIMUM
 - REMOVE EXISTING PAVEMENT TO THE LIMITS SHOWN
 - CONSTRUCT 8" CURB AND GUTTER PER SBCCO STD. 115
 - CONSTRUCT 6" WIDE CONCRETE SIDEWALK PER SBCCO STD. 109
 - CONSTRUCT RESIDENTIAL DRIVE APPROACH PER SBCCO STD. 109B
 - CONSTRUCT AC PAVEMENT OVER AGGREGATE BASE PER SOLE ENGINEER'S RECOMMENDATION
 - CONSTRUCT CURB RETURN WITH SIDEWALK RAMP PER SBCCO STD. 119
 - CONSTRUCT CROSS GUTTER PER SBCCO STD. 119

CURVE DATA TABLE

| NO. | RADIUS | DELTA | LENGTH | TANGENT |
|-----|---------|-------------|--------|---------|
| A | 125.00' | 80° 24' 17" | 55.17' | 26.50' |
| B | 250.00' | 31° 24' 35" | 38.50' | 18.57' |
| D | 425.00' | 18° 39' 15" | 51.51' | 27.88' |

| | | | | | | | | | |
|--|--|--|--|---|---|---|--|---|--|
| <p>Know what's below. Call before you dig.</p> | <p>14955 DALE EVANS PARKWAY APPLE VALLEY, CA 95927 TEL: (707) 240-3300 FAX: (707) 240-7339 WEB SITE: www.applevalley.org</p> | <p>BENCHMARK:</p> <p>TOP OF BRASS CAP @ WEST 1/4 CORNER SECTION 4 T1N, R2W, S 8.B.M. PER CIPB 4219287 ELEV=3134.910 (NGVD 29)</p> | | <p>Prepared by: ALLARD ENGINEERING Civil Engineering • Land Surveying • Land Planning 18990 Santa Avenue Bakersfield, California 93315 Phone: (805) 395-1915 Fax: (805) 395-1795</p> | <p>DESIGNED: DBW/MC DRAWN: DBW/MC REVIEWED: RKA</p> | <p>APPROVED:</p> <p>_____ TOWN ENGINEER</p> <p>_____ DATE</p> | <p>TOWN OF APPLE VALLEY ENGINEERING DIVISION</p> | <p>STREET IMPROVEMENT PLANS</p> <p>TECAYA RD. & DACHSHUND RD. DACHSHUND AVENUE PLAN & PROFILE STA. 0+95.00 - STA. 15+24.11 TOWN OF APPLE VALLEY</p> | <p>FILED NO. DATE DECEMBER 2025 DRAWING NO. SHEET 4 of 5</p> |
| | | | | | | | | | |