

ABBREVIATIONS

#	pound or number
&	and
@	anchor bolt
AB	above
ABV	air conditioning
A/C	alternate
ALT	assessors parcel number
APN	apartment
APT	architect(ural)
ARCH	building
BLDG	block
BLK	blocking
BLKG	beam
BM	both ways
BW	ceiling joist
CJ	ceiling
CLG	clear(ance)
CLR	concrete masonry unit
CMU	column
COL	concrete
CONC	continuous/ continue
CONT	cubic yard
CYD	demolish, demolition
DEMO	diagonal
DIAG	diameter
DIA	dimension
DIM	division
DIV	deck joist
DJ	dead load
DL	door
DR	downspout
DSL	detail
DTL	drawing
DWG	east
E	elevation
ELEV	ELEC
ELEC	EMER
EMER	ENC
ENC	EP
EP	EO
EO	EQUIP
EQUIP	EST
EST	EXIST
EXIST	(E)
(E)	EXT
EXT	FD
FD	FFL
FFL	FIN
FIN	FJ
FJ	FLR
FLR	FLUOR
FLUOR	FND
FND	FTG
FTG	GA
GA	GL
GL	GP
GP	GYP.BD.
GYP.BD.	GRD
GRD	GALV
GALV	HB
HB	HC
HC	HD
HD	HDR
HDR	HVAC
HVAC	INSUL
INSUL	INT
INT	INV
INV	JST
JST	IT
IT	L
L	LAV
LAV	LL
LL	LW
LW	MASS
MASS	MAX
MAX	MECH
MECH	MED
MED	MET
MET	MFR
MFR	MH
MH	MIN
MIN	MISC
MISC	MT
MT	MTL
MTL	(N)
(N)	N
N	NAT
NAT	No.
No.	NOM
NOM	NTS
NTS	OC
OC	OH
OH	OPG
OPG	PAN/A
PAN/A	PCC
PCC	PCF
PCF	PERF
PERF	PERF
PERF	PRE.FAB.
PRE.FAB.	PFL
PFL	PL
PL	PLYWD
PLYWD	PSF
PSF	PSI
PSI	PSS
PSS	RD
RD	REF
REF	REG
REG	REC'D
REC'D	RR
RR	RFG
RFG	RM
RM	RO
RO	ROW
ROW	S
S	SC
SC	SCH
SCH	SD
SD	SEC
SEC	SF
SF	SHT
SHT	SIM
SIM	SPEC
SPEC	SQ
SQ	SS
SS	STL
STL	STD
STD	STRUCT
STRUCT	TEL
TEL	T&G
T&G	THK
THK	TOC
TOC	TV
TV	TWH
TWH	TYP
TYP	UNO
UNO	UR
UR	VERT
VERT	VIF
VIF	W
W	W/
W/	W/O
W/O	WC
WC	WDW
WDW	WH
WH	WIC
WIC	

GENERAL NOTES:

- EVERY ITEM MENTIONED IN THE SPECIFICATIONS IS INTENDED TO REPRESENT THE QUALITY OF MATERIALS THAT WILL BE REQUIRED. WORKMANSHIP SHALL BE OF THE FINEST QUALITY AND DONE IN ACCORDANCE WITH THE BEST METHODS TO OBTAIN THE RESULTS REQUIRED BY THE OWNER. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, ETC. AS PER MANUFACTURER'S SPECIFICATIONS.
- ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK INVOLVED.
- ANY DEVIATION FROM THE APPROVED PLANS OR SPECIFICATIONS SHALL BE AT THE CONTRACTOR'S OWN RISK UNLESS PRIOR APPROVAL IS OBTAINED FROM THE OWNER AND DESIGNER.
- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH EFFECTED WORK. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUE, SEQUENCES AND PROCEDURES, INCLUDING, BUT NOT LIMITED TO BRACING AND SHORING, OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE DESIGNER AND/OR ENGINEER SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES. ANY SUPPORT SERVICES PERFORMED BY THE DESIGNER AND/OR ENGINEER DURING THE CONSTRUCTION SHALL BE DISTINGUISHED FROM CONTINUOUS AND DETAILED INSPECTION SERVICES, WHICH ARE FURNISHED BY OTHERS. THESE SUPPORT SERVICES PERFORMED BY THE DESIGNER AND/OR ENGINEER, WHETHER OF MATERIAL OR WORK, AND WHETHER PERFORMED PRIOR TO, DURING OR AFTER COMPLETION OF CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND ACHIEVING GENERAL CONFORMITY WITH CONTRACT DOCUMENTS, BUT NOT TO GUARANTEE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.
- ALL INFORMATION SHOWN ON THESE DRAWINGS RELATIVE TO EXISTING SITE CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS ARE FOUND TO CONFLICT WITH THE DRAWINGS THEY SHALL BE REPORTED TO THE DESIGNER SO THAT PROPER REVISIONS SHALL BE MADE. MODIFICATIONS OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL BY THE DESIGNER.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MOST RECENT BUILDING CODES OR SUBSEQUENT CODE AS MAY BE ENACTED BY LOCAL AUTHORITY, AND ALL OTHER APPLICABLE LOCAL AND STATE REGULATIONS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR CONFIRMING EXISTING CONDITIONS ON ADDITION AND/OR REMODEL PROJECTS.
- THE CONTRACTOR SHALL LAYOUT AND ESTABLISH ALL BUILDING AND CONSTRUCTION LINES, LEVELS, GRADES AND LOCATIONS REQUIRED FOR WORK AND SHALL BE RESPONSIBLE FOR ACCURACY AND MAINTENANCE OF SAME.
- THE CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL DRAWINGS AND TRADES FOR SIZE AND LOCATION OF WALL, FLOOR AND ROOF OPENINGS, WALLS OFFSETS, PROVISIONS FOR PRESENT AND FUTURE EQUIPMENT, ATTACHMENT AND MOUNTING OF FIXTURES, CURBS, DEPRESSIONS, SLEEVES, INSERTS, AND OTHER EMBEDDED HARDWARE, PIPE, VENT, DUCT AND OTHER OPENINGS AND/OR DETAILS.
- CONSTRUCTION OF THE SITE SHALL BE LIMITED TO WORKING HOURS SET FORTH BY THE CITY BUILDING DEPARTMENT.
- CONTRACTOR SHALL INSPECT THE JOB SITE AND STUDY ALL ELEMENTS OF WORKING DRAWINGS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ARCHITECT/DESIGNER PRIOR TO START OFF ANY WORK. CONTRACTOR SHALL, AT THEIR OWN EXPENSE, CARRY ALL EMPLOYER'S LIABILITY INSURANCE AND PUBLIC LIABILITY INSURANCE NECESSARY FOR THE FULL PROTECTION OF THE CONTRACTOR AND OWNER DURING THE PROGRESS OF THE WORK. CONTRACTOR SHALL BE WHOLLY RESPONSIBLE IN CASE OF ANY LOSS OR DAMAGE TO ANY PERSON OR PROPERTY RESULTING FROM THE PERFORMANCE OF THIS CONTRACT AND AGREES TO HOLD THE OWNER HARMLESS FROM ALL LIABILITY AND EXPENSE RESULTING FROM CONSTRUCTION.
- CONTRACTOR SHALL CONSULT WITH THE REPRESENTATIVES OF THE TOWN, GAS, WATER, POWER, AND PHONE COMPANIES CONCERNING AVAILABLE FACILITIES BEFORE COMMENCING WORK OR CONNECTING FACILITIES. CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR AFTER PROJECT COMPLETION.
- ALL CONTRACTORS DOING BUSINESS IN THE COUNTY SHALL HAVE A CERTIFICATE OF WORKER'S COMPENSATION ON FILE WITH THE TOWN.

GENERAL CONSTRUCTION REQUIREMENTS:

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO CODES, ORDINANCES AND STANDARDS HAVING JURISDICTION.
- FOR ALL WOOD IN CONTACT WITH CONCRETE SLAB PLACED ON EARTH, WOOD SHALL BE EITHER FOUNDATION GRADE REDWOOD OR PRESSURE TREATED DOUGLAS FIR. WHERE NOT SUBJECT TO WATER SPLASH OR TO EXTERIOR MOISTURE AND CONCRETE OR CONCRETE HAVING A MINIMUM THICKNESS OF 3" WITH AN IMPERVIOUS MEMBRANE INSTALLED BETWEEN CONCRETE AND EARTH, THE WOOD MAY BE TREATED AND OF ANY SPECIES.
- WOOD/EARTH SEPARATION - WOOD BEAMS RESTING ON CONCRETE PIERS SHALL BE PLACED A MINIMUM OF 8 INCHES ABOVE ADJACENT EARTH. WOOD LOCATED NEARER THAN 8 INCHES TO EARTH SHALL BE TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY. BOTTOM OF WOOD FRAMING SHALL BE SEPARATED FROM EARTH BY 12 INCHES MINIMUM FOR GIRDERS AND 18 INCHES FOR FLOOR JOISTS.
- CONTRACTOR SHALL CLEAN UP AND REMOVE THEIR OWN RUBBISH AND DEBRIS FROM THE JOB SITE.
- ALL INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE CALIFORNIA BURNING RATING SMOKE DENSITY REQUIREMENTS OF CALIFORNIA BUILDING CODE.
- THE REQUIRED CLEARANCE FOR WOOD MEMBERS ABOVE GRADE IS 8" FOR MUDSILLS.
- A CORROSION RESISTANT METAL FLASHING WHICH ALLOWS TRAPPED WATER TO DRAIN TO EXTERIOR OF THE BUILDING IS REQUIRED BEHIND EXTERIOR SIDING AT FOUNDATION OR SILL PLATE IN. THE FLASHING SHALL BE A MINIMUM NUMBER 26 GALVANIZED SHEET GAGE CORROSION RESISTANT SHEET METAL AND SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS.
- INSPECTION IS REQUIRED FOR ALL INTERIOR AND EXTERIOR IN-PLACE LATH AND/OR WALLBOARD BEFORE ANY EXTERIOR FINISH IS APPLIED OR ANY JOINTS AND FASTENERS ARE TAPED AND FINISHED.
- PLYWOOD PANELS SHALL BE BONDED WITH INTERMEDIATE OR EXTERIOR GLUE AND BE OF EXTERIOR TYPE WHERE EXPOSED TO THE WEATHER.
- GLAZING WITHIN 18" OF FLOOR OR 24" OF A DOOR OPENING SHALL BE TEMPERED GLASS.

ADMINISTRATIVE REQUIREMENTS:

- CONSTRUCTION OF THE SITE SHALL BE LIMITED TO WORKING HOURS SET FORTH BY THE CITY/TOWN BUILDING DEPARTMENT.
- CONTRACTOR SHALL INSPECT THE JOB SITE AND STUDY ALL ELEMENTS OF WORKING DRAWINGS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO ARCHITECT/DESIGNER PRIOR TO START OFF ANY WORK. CONTRACTOR SHALL, AT THEIR OWN EXPENSE, CARRY ALL EMPLOYER'S LIABILITY INSURANCE AND PUBLIC LIABILITY INSURANCE NECESSARY FOR THE FULL PROTECTION OF THE CONTRACTOR AND OWNER DURING THE PROGRESS OF THE WORK. CONTRACTOR SHALL BE WHOLLY RESPONSIBLE IN CASE OF ANY LOSS OR DAMAGE TO ANY PERSON OR PROPERTY RESULTING FROM THE PERFORMANCE OF THIS CONTRACT AND AGREES TO HOLD THE OWNER HARMLESS FROM ALL LIABILITY AND EXPENSE RESULTING FROM CONSTRUCTION.
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SHEET INDEX

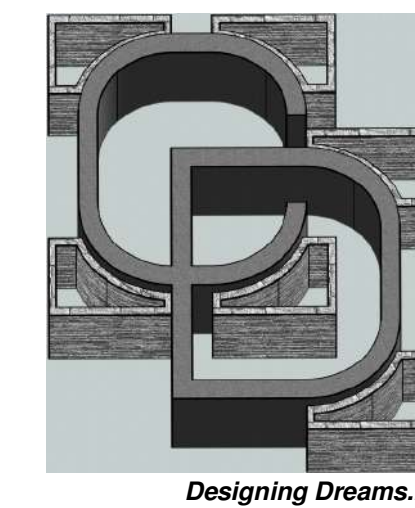
SHEET No.	SHEET NAME
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A001	CONDITIONS OF APPROVAL
A002	CONDITIONS OF APPROVAL
A100	SITE PLAN
A101	ACCESSIBILITY REQUIR. & TRASH ENCLOSURE
A102	ACCESSIBILITY STANDARDS 'FLOOR PLAN'
A103	SITE LIGHTING PLAN
A200	FLOOR PLAN NOTES & SCHEDULES
A201	1ST FLOOR GENERAL PLAN
A202	2ND FLOOR GENERAL PLAN
A203	FLOOR PLAN ENLARGEMENT
A300	ROOF SPECS & ATTIC VENT CALCS
A301	ROOF PLAN
A401	ELEVATIONS PLAN
A402	ELEVATIONS PLAN
A403	COLOR ELEVATIONS
A404	COLOR ELEVATIONS
A404	MATERIAL BOARD
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A501	SECTIONS PLAN
A502	SECTIONS PLAN
AD1	ARCHITECTURAL DETAILS
AD2	ARCHITECTURAL DETAILS
AD4	STAIRS & FENCE DETAILS
E100	ELECTRICAL NOTES & SPEC.
E101	SITE ELECTRICAL PLAN
E102	1ST FLR ELECTRICAL PLAN
E103	2ND FLR ELECTRICAL PLAN
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EN3	TITLE 24 PLAN
F100	FIRE-RATED DETAILS
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GC-2	RESIDENTIAL MANDATORY MEASURES
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P200	1ST & 2ND FLR. PLUMBING PLAN
P201	1ST. WASTE & VENTS
P202	2ND FLR. WASTE & VENTS
S1	FOUNDATION PLAN
S2	1ST FLR. FRAMING PLAN
S3	ROOF FRAMING PLAN
SN1	STRUCTURAL NOTES
SN2	STRUCTURAL NOTES
SR1	SOIL RECOMENDATIONS
SR2	SOIL RECOMENDATIONS

PINKY'S APARTMENTS

NEW APARTMENT COMPLEX (5-UNITS)



PRINCIPAL DESIGNER:



Carrillo Design & Assoc. Inc.
1881 Commercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE
DIRECTION OF:
CARLOS E LARA, P.E.
R.C.E. # 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
(909) 471-6174

REVISIONS

REV. #	DATE	BY

PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
**15380 WANAQUE RD
APPLE VALLEY, CA 92307**

SHEET TITLE

TITLE SHEET

DATE: 5/28/2026 3:38:43 PM
DRAWN: GC
SCALE: As indicated
JOB NO.: 42-23

100-TS

ROOF TRUSSES: YES

- ROOF COVERING SHALL BE INSTALLED AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- "TRUSS CALCULATIONS AND LAYOUT PLAN WILL BE REVIEWED BY THE ARCH/ENGINEER OF RECORD AND SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO INSTALLATION." (R802.10.1)

FIRE SPRINKLERS: PER SEPARATE PERMIT

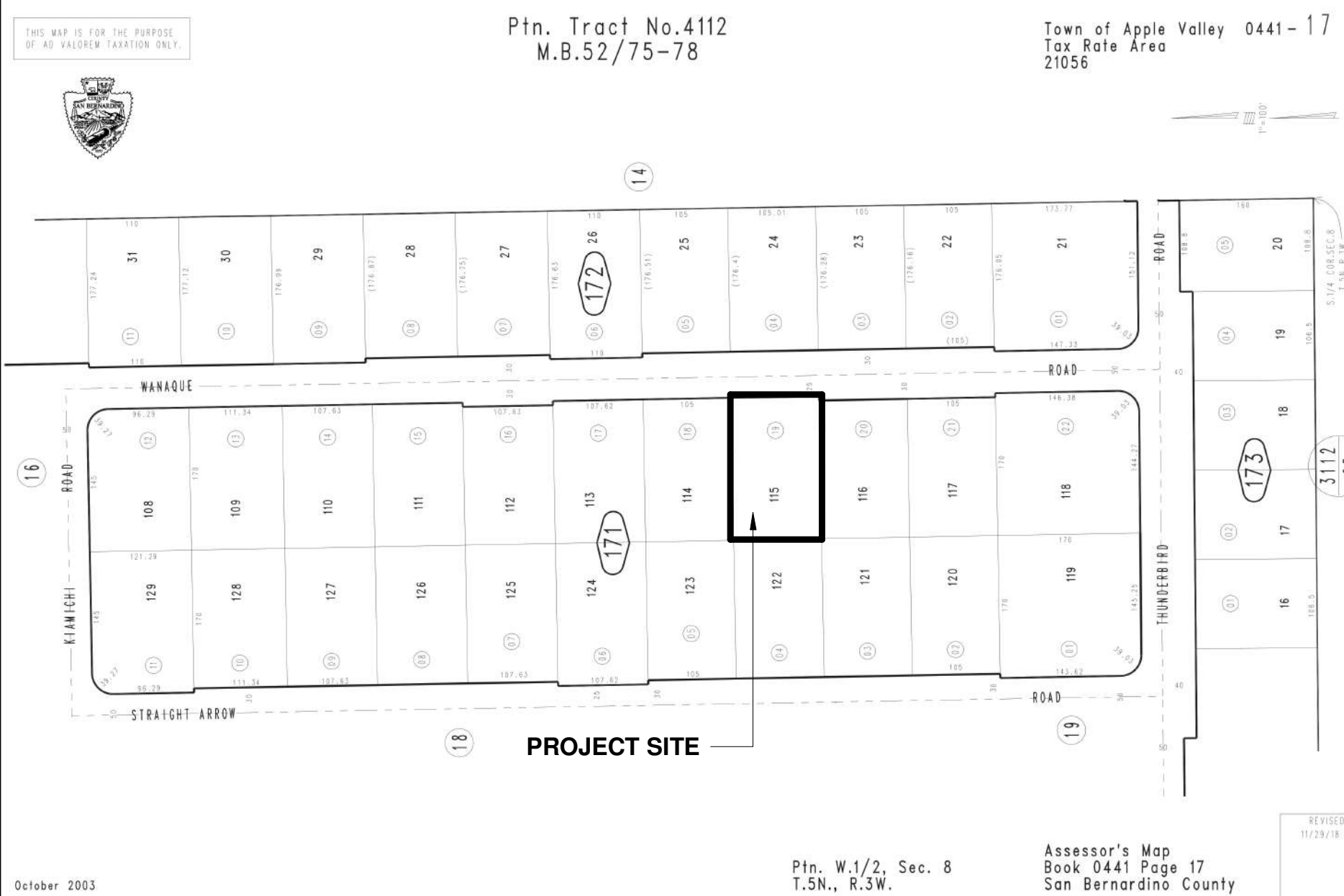
- PROPOSED NEW FAMILY DWELLING SHALL INSTALL AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM.
- FIRE SPRINKLER - NFPA #13D - AN AUTOMATIC LIFE SAFETY FIRE SPRINKLER SYSTEM COMPLYING WITH NFPA PAMPHLET # 13D AND THE FIRE DEPARTMENT STANDARDS ARE REQUIRED.
- UNDERGROUND FIRE PROTECTION SYSTEM

SPECIAL INSPECTIONS:

- SHEAR WALLS WITH NAILING OF 4 INCHES ON EXTERIOR OR LESS.

SOLAR PANELS: BY DEFERRED

- SEE SHEET A200 FOR INFORMATION ABOUT ENERGY REPORT REQUIREMENTS FOR SOLAR.



ASSESSOR'S MAP

PROJECT INFORMATION

PROJECT NAME:	PROPOSED APARTMENT COMPLEX OF 5-UNITS W/ ATTACHED 2-CAR GARAGE EACH UNIT
PROJECT ADDRESS:	15380 WANAQUE RD, APPLE VALLEY, CA. 92307
APN:	0441-171-19-0000
OWNER/CONTACT:	REYES INVESTMENT CAPITAL, LLC. RAUL REYES PH: (909) 471-6174 E: REYESSINGLEPLY@LIVE.COM
DESIGNER:	GERARDO CARRILLO CARRILLO DESIGN & ASSOCIATES, INC. 1881 COMMERCCENTER DR E STE #206 SAN BERNARDINO, CA 92408 PH: (909) 499-0227 E: CARRILLODESIGNINC@GMAIL.COM
STRUCT. ENGINEER:	LAMDA ENGINEERING CARLOS LARA 20365 TONEY ST PERRIS, CA 92570 PH: (951) 245-2578 E: LAMDAENGINEERING@YAHOO.COM

SCOPE OF WORK

PROPOSED APARTMENT COMPLEX OF 5-UNITS WITH ATTACHED 2-CAR GARAGE EACH UNIT

APPLICABLE BUILDING CODES

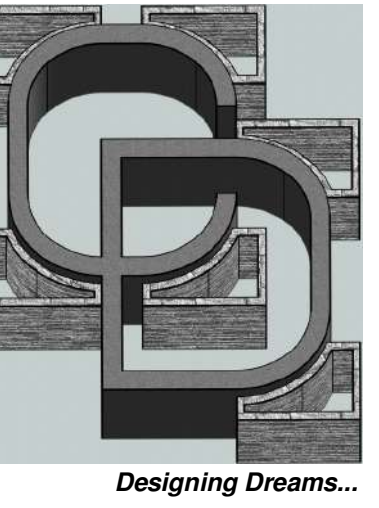
PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
 *2025 CBC (IBC), 2025 CRC (IRC), 2025 CPC (UPC),
 2025 CEC (NEC), 2025 CMC (UMC),
 2025 CeC, 2025 CALGreen, 2025 CFC &
 Town of Apple Valley Development Code*

PINKY'S APARTMENTS

NEW APARTMENT COMPLEX (5-UNITS)



PRINCIPAL DESIGNER:



Carrillo Design & Assoc. Inc.
1881 Commercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
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PLANS PREPARED UNDER THE
DIRECTION OF:
CARLOS E. LARA, P.E.
R.C.E. # 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
(909) 471-6174

REV. #	DATE	BY
1		
2		
3		

PROJECT TITLE
APARTMENT COMPLEX

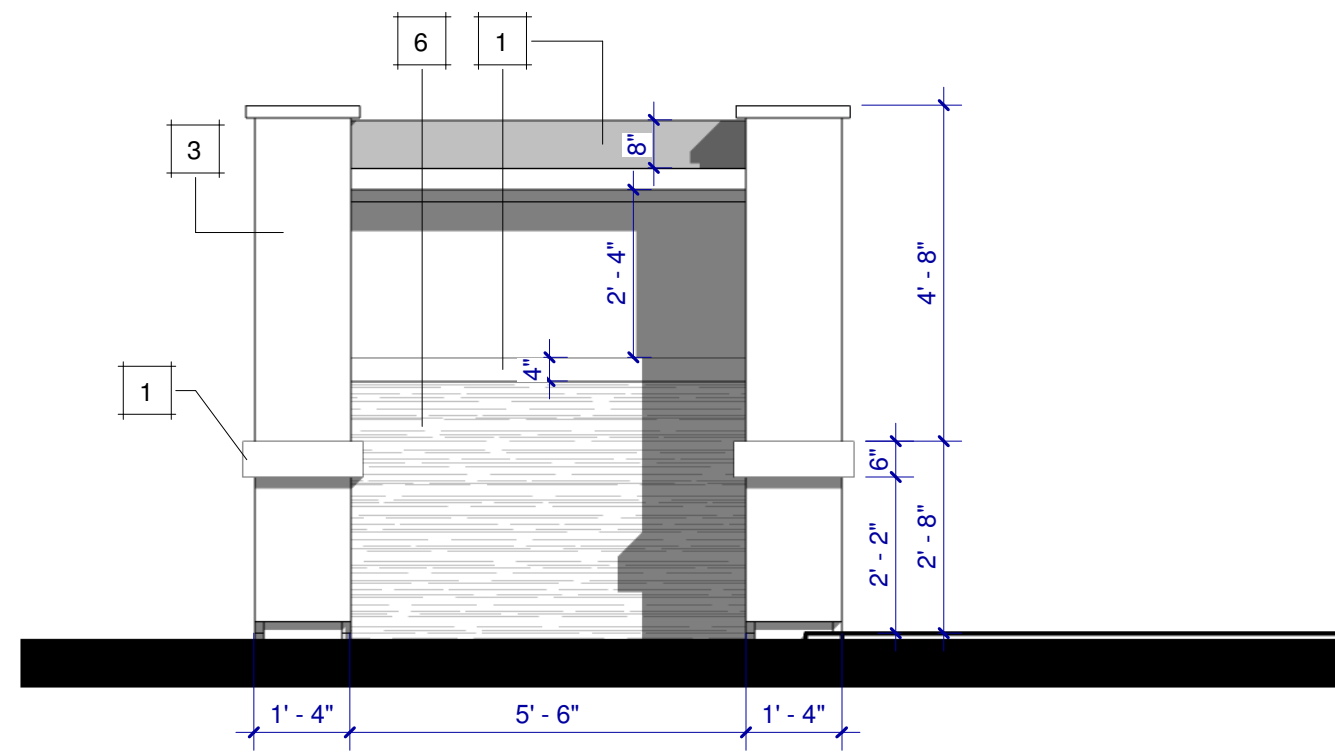
PROJECT LOCATION
**15380 WANAQUE RD
APPLE VALLEY, CA 92307**

SHEET TITLE
RENDERING VIEWS

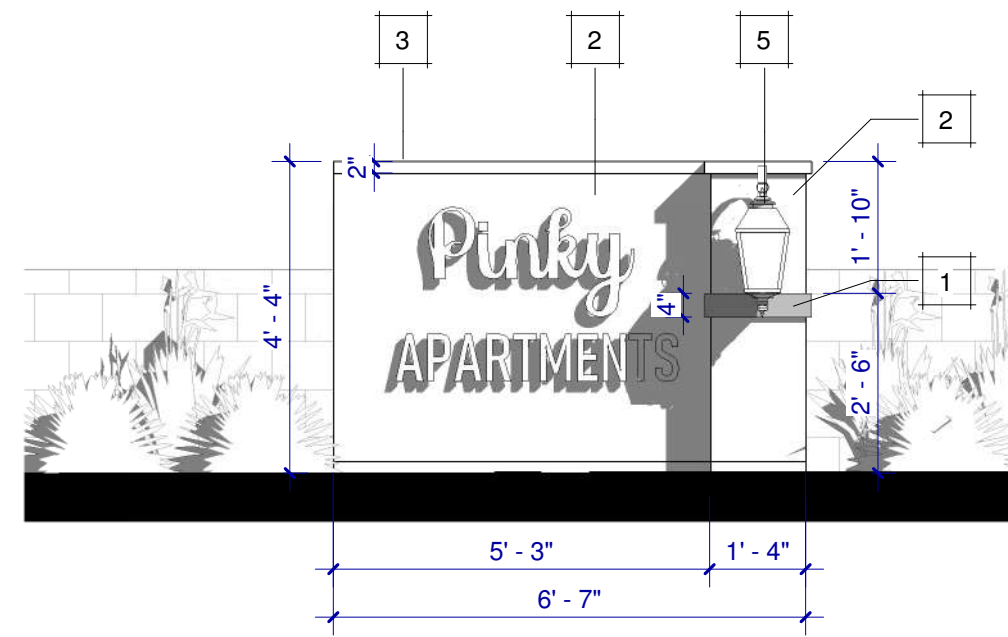
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DRAWN: GC
SCALE:
JOB NO.: 42-23

101-TS

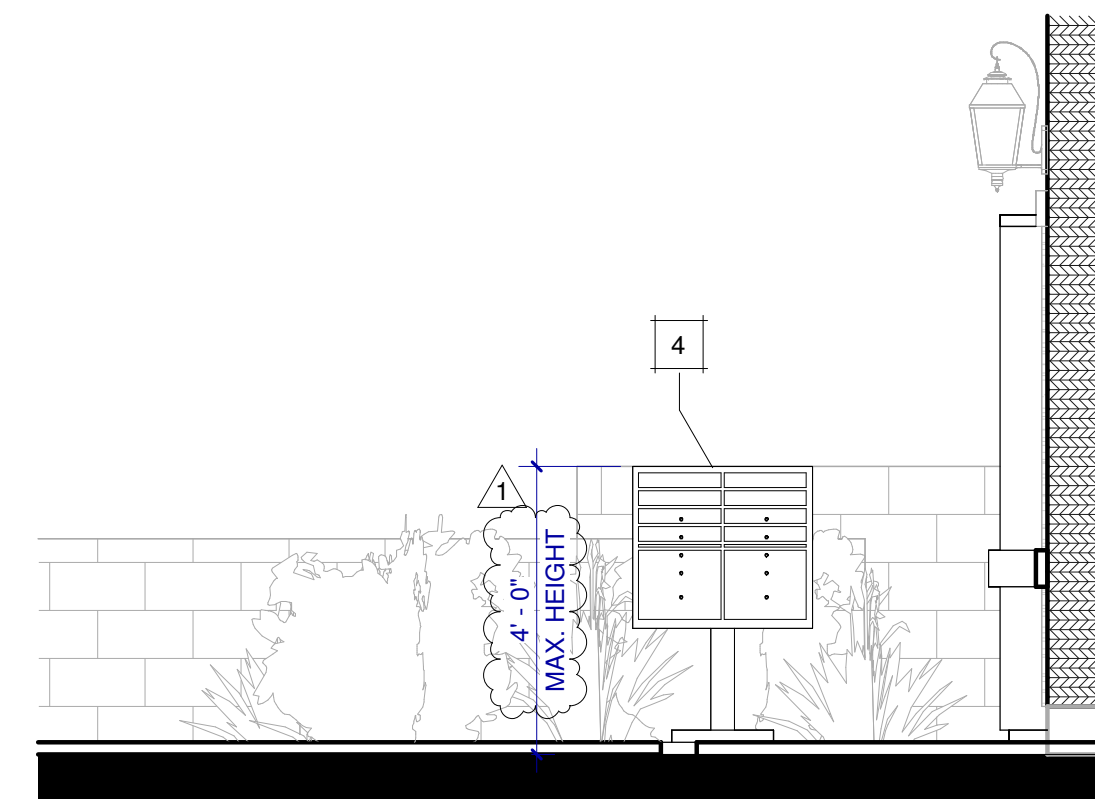
NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.



1 TRASH ENCLOSURE ELEVATION
3/8" = 1'-0"



2 ENTRY STATEMENT ELEVATION
3/8" = 1'-0"



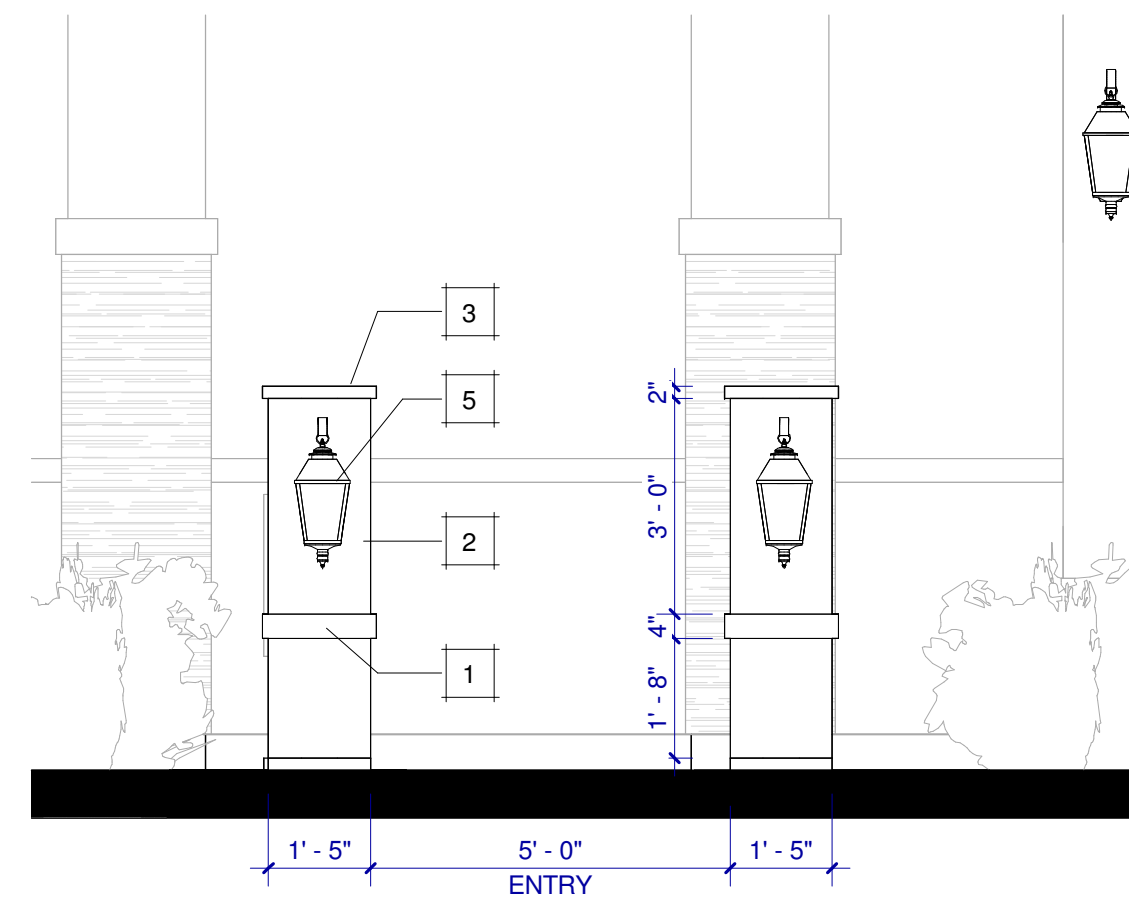
3 MAILBOXES ELEVATION
3/8" = 1'-0"



5 TRASH ENCLOSURE COLOR ELEV.
3/8" = 1'-0"



6 ENTRY STATEMENT COLOR ELEV.
3/8" = 1'-0"



4 PEDESTRIANS ENTRANCE
3/8" = 1'-0"



7 MAILBOXES COLOR ELEVATION
3/8" = 1'-0"



8 PEDESTRIANS ENTRANCE



Wastequip Manufacturing Company, LLC
125540C_WEB_GRN Specs

Quantity	1/Each
Shipping Weight	500 lb.
Length	81 7/8 Inches
Width	39 3/4 Inches
Height	45 1/4 Inches
Capacity	1,000 lb.
Casters	With Casters
Color	Green
Features	Made in America Stackable
Installation Type	Freestanding
Material	Steel
Shape	Rectangle
Type	Dumpsters
Volume Capacity	2 cu. yd.

DUMPSTER SPECIFICATIONS

SCALE
N.T.S.

9

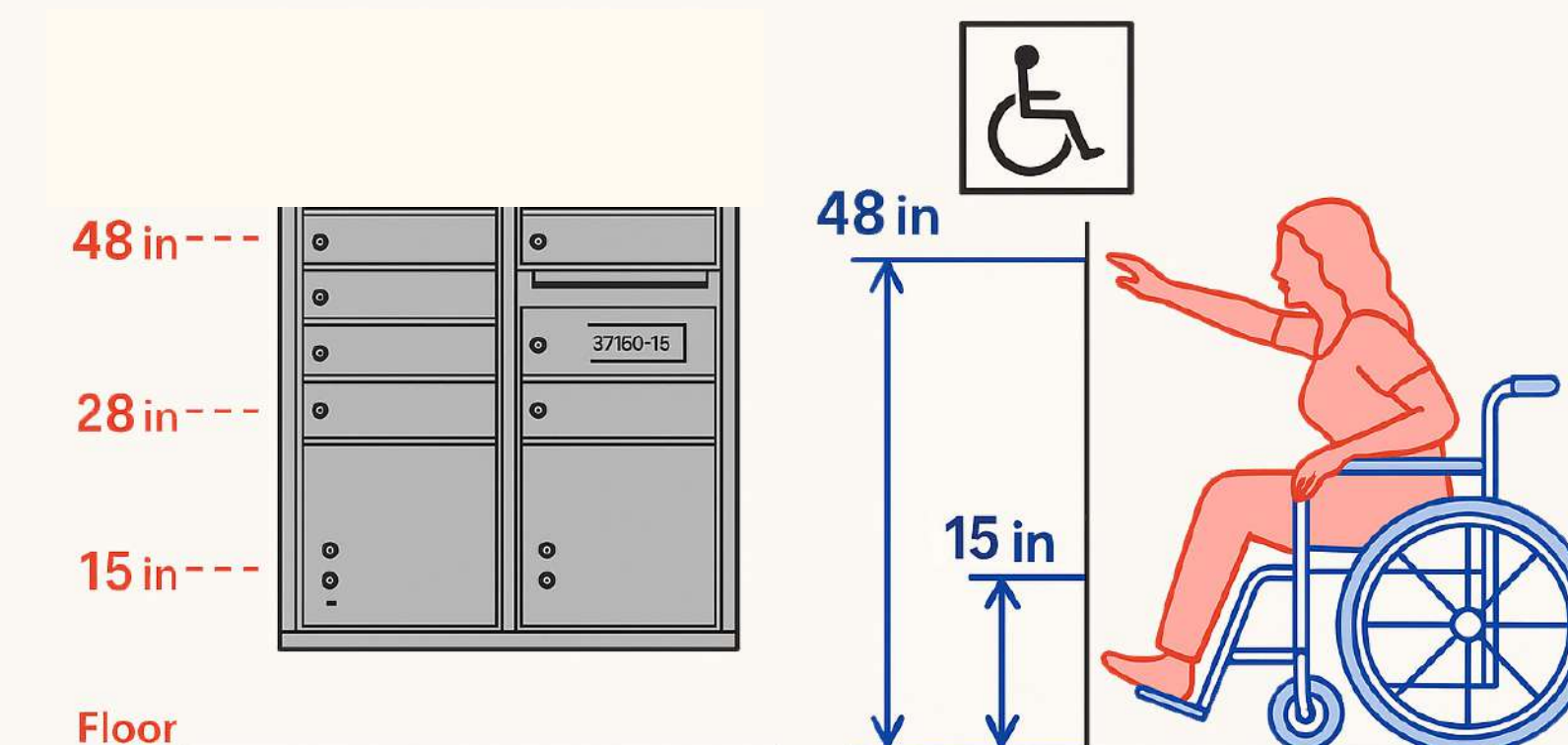
MATERIAL SAMPLE BOARD

KEY NOTE	DESCRIPTION, TYPE, COLOR & MATERIAL SPECIFICATIONS	SAMPLE
1	EXTERIOR 7/8 STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS EGG SHELL 73 (76) BASE 100 COLOR. OVER 2-LAYER WEATHER RESISTIVE BARRIER GRADE 'D', ICC-ES ESR-2375	
2	EXTERIOR 7/8 STUCCO PLASTER (3-COATS); LAHABRA PAREX USA COLOR COLLECTION, AGAVE 3041D (17) COLOR. OVER 2-LAYER WEATHER RESISTIVE BARRIER GRADE 'D', ICC-ES ESR-2375	
3	1IN x 6IN SPF S1S2E WHITE PRIME SELECT FASCIA BOARD PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B, EXTERIOR PAINT	
4	EXTERIOR 7/8 STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS FALLBROOK 434 (42) BASE 200 COLOR. OVER 2-LAYER WEATHER RESISTIVE BARRIER GRADE 'D', ICC-ES ESR-2375	
5	PROPOSED CORONADO STONE ARTISAN LEDGE-CATHEDRAL GREY STONE VENEER FINISH OR SIM. ICC-ES ESR-2598	
6	PROPOSED 44-IN HIGH HOFT MANUF. OR SIM. BLACK ALUMINUM RAILING END POST AND HARDWARE - KIT A4 W/ 5/4-IN WOOD OR 1-IN COMPOSITE DECK BOARDS	
7	DUSK TO DAWN OUTDOOR WALL LIGHTS, EXTERIOR FRONT PORCH LIGHTS, HAWAII MONTPELLIER, OIL RUBBED BRONZE HARDWIRED 12.4 IN. WALL MOUN LANTERN SCENCE.	

KEYNOTES

1	DECORATIVE TRIMS, PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B EXTERIOR PAINT
2	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS, EGG SHELL 73 (76) BASE 100 COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
3	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS FALLBROOK 434 (42) BASE 200 COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
4	MAILBOXES LOCATION. SEE DETAIL A/102-TS
5	OUTDOOR WALL MOUNTED LIGHT FIXTURE SEE SHT A-103 FOR SPEC #1
6	EXTERIOR CORONADO STONE ARTISAN LEDGE-CATHEDRAL GREY STONE VENEER FINISH, ICC-ES ESR-2598. SEE PLASTER NOTES ON SHT A02

HEIGHT REQUIREMENTS FOR MAILBOX INSTALLATIONS



MAILBOXES SPECIFICATIONS

SCALE
N.T.S.

A

HOFT
Corner Post Kit 44 in. x 3 in. x 3 in. Black Aluminum Railing Corner Post and Hardware - Kit B4
★★★★★ (13) Questions & Answers (19)



About This Product

HOFT 44 in. End Railing Post Kit (A4) is an easy, stylish, quality, all aluminum post and hardware kit. HOFT's innovative easy-slide system allows you to slide boards and spacers in the integrated post rail without having to measure. HOFT provides distinguished privacy for your deck, terrace and backyard. Simply choose your preferred wood or composite boards.

Product Information

Internet # 320033763
Model # USKEP4401
Store SKU # 100/753674

Highlights

- BOARDS SOLD SEPARATELY - Designed for any 5/4 in. wood and 1 in. composite deck boards
- Wood boards must be maximum 6 ft. L in between each post (5 ft. L for composite)
- Easy slide installation system - no skills required
- For unique and customizable hangouts
- Innovative design - quality aluminum
- Kit A4 includes: 1 x 44 in. end post - 1 x post cap - 6 x 1/2 in. spacers - 1 x railblock - 1 x section bracket - 1 x anchor plate (different surfaces require different anchor screws - sold separately) - 2 x Allen keys - installation guide
- Return Policy

Dimensions

Actual post height (in.)	44 in	Actual post thickness (in.)	3 in
Actual post width (in.)	3 in	Nominal post height (ft.)	3.7 ft
Nominal post width (in.)	3 in		

Details

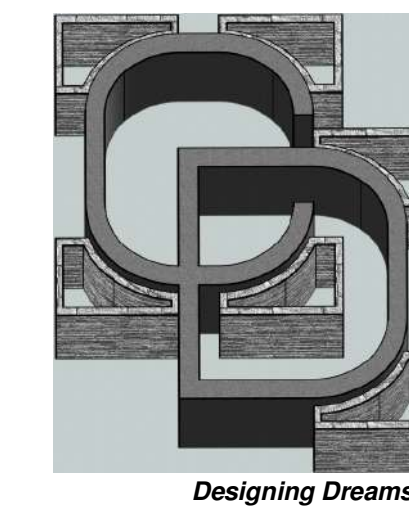
Application Type	End	Color Family	Black
Color/Finish	Black	Features	Painted
Fencing Installation Type	Surface Mounted	Includes	Hardware
Material	Aluminum	Number of Posts Included	1
Product Weight (lb.)	8 lb	Recommended Fastener	Screws

FENCE SPEC

SCALE
N.T.S.

B

PRINCIPAL DESIGNER:



Carrillo Design & Assoc. Inc.
1881 Commercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE
DIRECTION OF:
CARLOS E. LARA, P.E.
R.C.E. # 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
(909) 471-6174

REVISIONS	REV. #	DATE	BY	FO
	1	02/27/26		

PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
**15380 WANAQUE RD
APPLE VALLEY, CA 92307**

SHEET TITLE

**OUTDOOR DECO.
ELEVATIONS &
SPECS**

DATE: 5/28/2026 3:39:01 PM
DRAWN: GC
SCALE: As indicated
JOB NO.: 42-23

102-TS

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.

CONDITIONS OF APPROVAL - DP 2024-015

Note: Many of the Conditions of Approval presented herewith are provided for informational purposes and are otherwise required by the Municipal Code. Failure to provide a Condition of Approval herein that reflects a requirement of the Municipal Code does not relieve the applicant and/or property owner from full conformance and adherence to all requirements of the Municipal Code.

PLANNING DIVISION

General

- P1. Approval of Development Permit No. DP 2024-015 by the acting Economic and Community Development Director is understood as acknowledgement by the applicant of the Conditions of Approval unless an appeal is filed pursuant to Development Code Section 9.12.250, Appeals.
P2. This permit approval shall become effective ten (10) calendar days after the date of the decision, unless an appeal is filed pursuant to the provisions of the Town Development Code.
P3. The project shall comply with all provisions of State law, the Town of Apple Valley Development Code and the Town General Plan. If not exercised, this approval shall expire three years from the date of action by the acting Director, unless otherwise extended pursuant to the provisions of the Town Development Code.
P4. An extension application must be filed, and associated fees paid, at least sixty (60) days prior to the permit expiration date, should the project proponent wish to seek extension.
P5. The project proponent shall agree to defend at their sole expense (with attorneys approved by the Town) and indemnify the Town against any action brought against the Town, its agents, officers or employees resulting from, or relating to, this Development Permit approval.
P6. Building renderings as approved by the Acting Director shall be the anticipated and expected appearance of all structures upon project completion.
P7. The Community Development Director or their designee, shall have the authority to approve minor architectural changes on items such as window treatments,

color combinations, facade treatments and architectural relief. Questions on the interpretation of this provision, or changes not clearly within the scope of this provision, shall be submitted to the Planning Division for consideration under a Development Permit Revision application.

- P8. Prior to issuance of a building permit, the project site plan shall be revised to indicate a more rounded edge to the landscaping curb at the south side of the project site, in order to provide a softer appearance and reduced 1-2 feet to ensure adequate turnaround radius for parking stall P2. This change shall be reviewed and approved by the Planning Department prior to issuance of building permit.

Landscaping/Irrigation

- P9. Final landscape and irrigation plans shall be submitted prior to issuance of a building permit pursuant to Chapter 9.75, "Water Conservation/Landscape Regulations" of the Development Code, with particular attention paid to Section 9.75.060, "Landscape Area and Material Requirements" and 9.75.040, "Processing Procedures and Submittal Requirements".
P10. Landscaping and irrigation shall be installed prior to issuance of Certificates of Occupancy, subject to approval by the Planning Division.
P11. Xeriscape landscaping techniques shall be used and all landscaping shall consist of plant materials selected from the approved plant list found in Section 9.75.100 of the Town Development Code.
P12. All required and installed landscaping shall incorporate and maintain a functioning automatic irrigation system.
P13. All landscaping shall be maintained in a neat, orderly, disease and weed-free manner at all times.
P14. The site's front building setback area and street right-of-way areas located between on-site improvements and the back of the public sidewalk, except the access driveway and walkways, shall be fully landscaped and maintained in a disease and weed-free manner at all times, pursuant to Development Code Section 9.75.060.

Fences and walls

- P15. Double fencing shall not be permitted along property lines. The project proponent shall collaborate with adjacent property owners to provide new fencing and/or walls and facilitate the removal of existing fences or walls, at the project proponent's expense, should they exist.

- P16. All proposed fencing abutting public rights-of-way shall include decorative materials such as wrought iron or steel tubing. Such fencing shall incorporate appropriate decorative enhancements for review and approval by the Planning Division prior to issuance of a building permit.

- P17. Walls proposed to be located along the site perimeters shall be constructed of decorative slump stone, split face block units, or other decorative material that is compatible with the architecture of the building and shall incorporate appropriate decorative enhancements such as caps or pilasters for review and approval by the Planning Division prior to issuance of a building permit.

- P18. Long expanses of wall or fence shall be offset and architecturally designed to avoid monotony. Pilasters shall be provided at regular intervals consistent with the length and scale of the wall but at a minimum of every fifty (50) feet for review and approval by the Planning Division prior to issuance of a building permit.

Screening

- P19. No equipment shall be placed on the building roof. Placement of solar panels is exempt from this condition.

- P20. All ground-mounted equipment shall be screened by a combination of walls and fencing complementing the design and color palette of the building, shrubs and hedges of a height at maturity sufficient to screen the equipment for review and approval by Planning prior to issuance of a building permit.

- P21. Should they be needed, retaining walls consisting of more than 120 square feet shall be constructed of finished decorative material, compatible with primary materials used for the building for review and approval by Planning prior to issuance of a building permit.

- P22. Within the required front setback, solid walls or fences are limited to forty-two (42) inches in height for review and approval by Planning prior to issuance of a building permit.

Signage

- P23. All proposed signage shall be subject to review and approval by the Planning Division under a separate sign permit application.

Parking

- P24. All parking shall be designed and installed in compliance with the standards and requirements as specified in the Town Development Code, for review and approval by Planning prior to issuance of a building permit.
P25. All parking stalls shall be clearly striped and permanently maintained.
P26. Required parking spaces shall be provided for handicapped persons in accordance with the Americans with Disabilities Act (ADA) and Title 24 of the California Administrative Code, and all applicable Town Development Code standards for review and approval by Planning or Building prior to issuance of a building permit.
P27. The ADA-compliant uncovered parking spaces shall be located as close as practical to the apartment building's front entrance, shall be provided with access ramps and shall be clearly marked pursuant to Title 24 for review and approval by Planning or Building prior to issuance of a building permit.

- P24. All parking shall be designed and installed in compliance with the standards and requirements as specified in the Town Development Code, for review and approval by Planning prior to issuance of a building permit.

- P25. All parking stalls shall be clearly striped and permanently maintained.
P26. Required parking spaces shall be provided for handicapped persons in accordance with the Americans with Disabilities Act (ADA) and Title 24 of the California Administrative Code, and all applicable Town Development Code standards for review and approval by Planning or Building prior to issuance of a building permit.

- P27. The ADA-compliant uncovered parking spaces shall be located as close as practical to the apartment building's front entrance, shall be provided with access ramps and shall be clearly marked pursuant to Title 24 for review and approval by Planning or Building prior to issuance of a building permit.

Trash enclosure

- P28. The project's trash enclosure shall be designed and constructed pursuant to Section 9.28.150 of the Town Development Code and all other applicable Town Standards, and shall reflect the architectural design of the building, subject to review and approval by the Planning Division prior to issuance of a building permit.

Construction activity

- P29. Construction activities shall not impede traffic flow or required accessible paths of travel.

- P30. The site shall be maintained clean, sanitary, and free of litter and any other undesirable debris or materials and shall be cleaned of loose debris on a daily basis.

- P31. All construction activities shall take place only as prescribed in Section 9.73.060.F.1 of the Town Development Code.

Lighting

- P32. Site lighting shall be proposed and installed in accordance with the architectural drawings as approved by the Community Development Director for review and approval by Planning prior to issuance of a building permit.

- P33. Lighting fixtures shall be located and shielded in such a manner that all light and glare shall be directed onto the project site and away from adjacent properties with no light or reflected glare spilling off-site or directed off-site.

- P34. Any parking lot lighting shall conform to the requirements of the Town Development Code and Uniform Building Code for review and approval by Town Staff prior to issuance of a building permit.

Grading

- P35. A copy of the final civil plans shall be submitted to the Planning Division for review and approval.

- P36. Cut and fill slopes, should they be required, shall be contour-graded to blend with existing natural contours.

Building Permit

- P37. No deviation, modification, alteration, adjustment, or revision to or from the appearance, location, fixtures, features, or appurtenances thereto of any type or extent shall be approved without said changes being first submitted to the Planning Division for consideration and approval.

- P38. Prior to approval of a building permit, the following agencies shall provide written verification that all conditions of approval and applicable regulations have been met:

- Apple Valley Fire Protection District
Apple Valley Building & Safety Division
Apple Valley Public Works Division
Apple Valley Engineering Division
Apple Valley Planning Division
Liberty Utilities
Mojave Desert Air Quality Management District
Lahontan Regional Water Quality Control Board

- P38. In accordance with the Town's Development Permit Application Checklist, the project proponent shall submit a preliminary hydrology study and detailed drainage plan prepared by a licensed civil engineer, containing information on existing structures, contours, elevations, proposed grades, circulation and drainage improvements, including streets, drainage courses on the site and within 100 feet of the boundaries of the site for Planning Staff review and approval during the civil plan check process, prior to issuance of a grading permit.

- P39. Pursuant to the National Pollutant Discharge Elimination System (NPDES), the

applicant is encouraged to incorporate appropriate source control measures to limit pollution in stormwater runoff. These measures may include, but are not limited to, the following:

- Stencil storm drain inlets: "No Dumping - Drains to River;"
Minimize use of pesticides and fertilizers;
Cover outdoor material storage areas, loading docks, repair/maintenance bays and fueling areas;
Cover trash, food waste, and compactor enclosures;
Plumbing of discharges to the sanitary sewer system as follows:
Discharges from indoor floor mats, equipment, hood filter, wash racks, and, covered outdoor wash racks for restaurants;
Dumpster drips from covered trash, food waste, and compactor enclosures;
Discharges from outdoor covered wash areas for vehicles, equipment, and accessories;
Fire sprinkler water, if discharge to on-site vegetated areas is not feasible.
Construct driveways and/or uncovered parking lots with permeable surfaces.

ENVIRONMENTAL AND REGULATORY

- ER1. Pursuant to AVMC § 8.19.020(a) et seq., the construction contractor shall complete and submit a Waste Management Plan ("WMP"), on a WMP form approved by the Town for this purpose as part of the application packet for the building or tenant improvement permit.

- ER2. Pursuant to AVMC § 8.19.050 and The California Green Code the contractor shall submit documentation proving that the project has met the diversion requirement prior to the issuance of a Certificate of Occupancy. The diversion requirement shall be at least sixty five percent (65%) of the total C&D debris generated by the project via reuse or recycling.

- ER3. Pursuant to the provisions as set forth in AB341 businesses that generate 2 cubic yards or more of commercial solid waste per week shall have a recycling program in place, including but not limited to collection of recyclable paper and plastic waste by the Town's franchise solid waste hauler.

- ER4. As of September 2020, and pursuant to the provisions as set forth in AB1826 and AVMC § 6.20.023(et seq), businesses that generate 2 cubic yards or more of commercial solid waste per week shall arrange for organic waste recycling services with limited exceptions and/or contract with an edible food recovery organization, if applicable. Contact Burrtec Waste Industries at (760)245-8607 for further information. Additionally, you may be exempted from this requirement if you utilize a landscape company that recycles/composts the landscape waste

generated by you and that provision is stated within the contract.

- ER5. To accomplish the requirements of ER3 and ER4, listed above, the trash and recycling enclosure(s) shall be constructed to accommodate the source separated trash, recyclable material, and organic waste containers that are appropriately sized to handle the estimated waste generated on-site, coupled with an appropriate service frequency; recyclables and organic waste containers are currently minimum 60 gallon barrels. Contact Burrtec Waste Industries at (760)245-8607 for further information.

ENGINEERING DIVISION

- EC1. Prior to issuance of a grading permit, a final grading plan and a final drainage plan with street layouts shall be submitted for review and approval by the Town Engineer showing provisions for receiving and conducting offsite and onsite tributary drainage flows around or through the site in a manner which will not adversely affect adjacent or downstream properties. This plan shall consider reducing the post-development site-developed flow to 90 percent of the pre-development flow for a 100-year design storm (Town Resolution 2000-50; Development Code 9.28.100)

- EC2. Street improvement plans shall be submitted to the Town Engineer for review and approval. Plans shall show all sidewalk, driveway approaches and ADA access improvements along the frontage of the development.

- EC3. All streets abutting the development shall be improved to a minimum half-width of 28 feet with curb, gutter and sidewalk on the development side.

- EC4. Wanaque Road adjacent to the property shall be improved to the Town's half-width Local Road standards.

- EC5. A 30-foot wide half-width road dedication along Wanaque Road shall be granted to the Town of Apple Valley prior to issuance of Grading Permit.

- EC6. During the grading of the streets, soil testing of the street subgrades by a qualified soils engineering firm shall be performed to determine appropriate structural street section and compliance. The minimum asphalt concrete thickness for all streets shall be 0.33 feet.

- EC7. An encroachment permit shall be obtained from the Town prior to performing any work in any public right of way.

- EC8. Utility lines shall be placed underground in accordance with the requirements of the Town (Municipal Code Section 14.28).

- EC9. Traffic impact fees adopted by the Town shall be paid by the developer.

- EC10. Any developer fees adopted by the Town including but not limited to drainage fees shall be paid by the developer.

- EC11. A Storm Water Pollution Prevention Plan (SWPPP) in accordance with the National Pollutant Discharge Elimination System (NPDES) shall be required.

- EC12. Provide a Water Quality Management Plan (WQMP) or Alternative Compliance Plan.

PUBLIC WORKS

- PW1. Sewage disposal shall be by connection to the Town of Apple Valley sewer system. Plans must be approved by the Town of Apple Valley Public Works Department.

- PW2. Six-inch sewer lateral is required.

- PW3. Sewer connection fees are required.

BUILDING AND SAFETY DIVISION

- BC1. An engineered grading report including soils report shall submitted to and approved by the Building Official prior to recordation of the final map or issuance of permits for grading in excess of 1000 cubic yards.

- BC2. Grading and drainage plans including a soils report must be submitted to and approved by the Building Department and Engineering Department prior to grading permit issuance.

- BC3. Submit plans, engineering and obtain permits for all structures, retaining walls, signs.

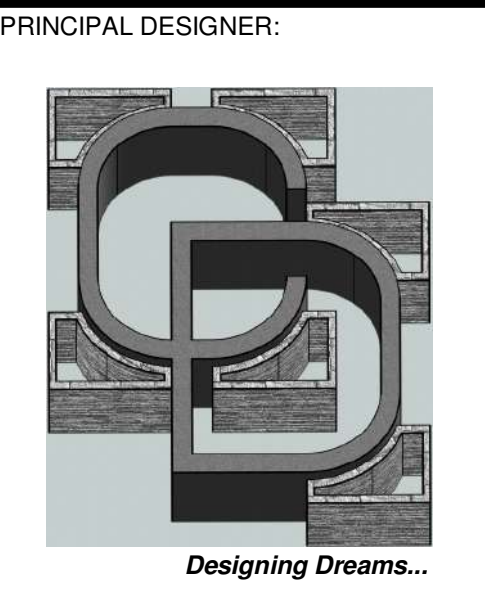
- BC4. A pre-construction permit and inspection are required prior to any land disturbing activity to verify requirements for erosion control, flood hazard, native plant protection and desert tortoise habitat.

- BC5. A Notice of Intent (NOI) and a Storm Water Pollution Prevention Plan (SWPPP) must be submitted to, and approved by, the Engineering and Building Departments prior to issuance of a grading permit and/or any land disturbance.

- BC6. All utilities shall be placed underground in compliance with Town Ordinance No. 89.

- BC7. All cross-lot drainage requires easements and may require improvements at the

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Carrillo Design & Assoc. Inc.
1881 Commercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE DIRECTION OF:
CARLOS E. LARA, P.E.
R.C.E. # 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
(909) 471-6174

Table with columns: REVISIONS, REV. #, DATE, BY

PROJECT TITLE: APARTMENT COMPLEX
PROJECT LOCATION: 15380 WANAQUE RD, APPLE VALLEY, CA 92307

SHEET TITLE: CONDITIONS OF APPROVAL

DATE: 5/28/2026 3:39:01 PM
DRAWN: AA
SCALE:
JOB NO.: 42-23

A001

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.

time of development.

- BC8. Comply with State of California Disability Access requirements.
- BC9. A pre-grading meeting is required prior to beginning any land disturbance. This meeting will include the Building Inspector, General Contractor, Grading Contractor, soils technician and any other parties required to be present during the grading process such as Biologist, Paleontologist.
- BC10. (NOT REQUIRED)
- BC11. Page two of the submitted building plans will be the conditions of approval.
- BC12. Construction must comply with 2022 California Building Codes.
- BC13. Best Managements Practices (BMP's) are required for the site during construction.
- BC14. Provide a Water Quality Management Plan (WQMP) or Alternative Compliance Plan.

FIRE PROTECTION DISTRICT

- F1. The above referenced project is protected by the Apple Valley Fire Protection District. Prior to construction occurring on any parcel, the owner shall contact the Fire District for verification of current fire protection development requirements.
- F2. All new construction shall comply with applicable sections of the California Fire Code, California Building Code, and other statutes, ordinances, rules, and regulations regarding fires and fire prevention adopted by the State, County, or Apple Valley Fire Protection District.
- F3. All combustible vegetation, such as dead shrubbery and dry grasses, shall be removed from each building site a minimum distance of thirty (30) feet from any combustible building material, including the finished structure. This does not apply to single specimens of trees, ornamental shrubbery, or similar plants, which are used as ground cover if they do not form a means of transmitting fire (California Public Resources Code, Sec. 4291).
- F4. Prior to combustible construction, the development, and each phase thereof, shall have two points of paved access for fire and other emergency equipment, and for routes of escape which will safely handle evacuations. Each of these points of access shall provide an independent route into the area in which the development is located.
- F5. Fire lanes shall be provided with a minimum width of twenty-six (26) feet,

maintained and identified. Twenty-six (26) feet access will start at both points of ingress and continue through the site. For buildings exceeding 36 feet in height, the minimum width of thirty-six (36) feet will be required.

- F6. A turnaround shall be required at the end of each roadway one hundred fifty (150) feet or more in length and shall be approved by the Fire District.
- F7. Approved numbers or addresses shall be placed on all existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Said numbers shall be **internally illuminated by premises wiring. Where building setbacks exceed 75 feet from the roadway, additional contrasting 4-inch numbers shall be displayed at the property entrance. (Apple Valley Fire Protection District, Ordinance 59)**
- F8. Plans for fire protection systems designed to meet the fire flow requirements specified in the Conditions of Approval for this project shall be submitted to and approved by the Apple Valley Fire Protection District and water purveyor prior to the installation of said systems.

- A. Unless otherwise approved by the Fire Chief, on-site fire protection water systems shall be designed to be looped and fed from two (2) remote points.
- B. System Standards:

*Fire Flow 1,500 GPM @ 20 psi Residual Pressure for each building
 Duration 2 Hour(s)
 Hydrant Spacing 660 Feet

*If blank, flow is determined by calculation when additional construction information is received.

- F9. NFPA 13D (RESIDENTIAL AUTOMATIC FIRE SPRINKLER SYSTEM): **REQUIRED**

This residence shall be constructed with an automatic fire sprinkler system throughout the structure, including garage. Plans shall be submitted by a licensed C-16 contractor to the Fire District for review and approval along with plan review fees. Fire Sprinkler work shall not commence until plan approval and a job card have been issued. An approved fire alarm system shall be installed that will provide a local alarm for water flow to be audible throughout the premises. NOTE: The Fire District shall be notified a minimum of 24 hours prior to the desired final inspection date. (Apple Valley Fire Protection District, Ordinance 59)

- F10. A letter shall be furnished to the Fire District from the water purveyor stating that the required fire flow for the project can be met prior to the Formal Development Review Committee meeting.

10

- F11. Prior to issuance of building permit, the developer shall pay all applicable fees as identified in the Apple Valley Fire Protection District Ordinance.

MOJAVE DESERT AIR QUALITY MANAGEMENT DISTRICT

- MD1. The District requires that fugitive dust best management practices (including but not limited to applicable provisions of District Rule 403) are implemented on all non-paved transport roads, access points and parking areas.
- MD2. The proponent shall obtain District permits for any miscellaneous process equipment that may not be exempt under District Rule 219 including, but not limited to internal combustion engines with a manufacturer's maximum continuous rating greater than 50 brake horsepower.

SOUTHWEST GAS

- SW1. There is an existing gas main distribution line along the property on Wanaque Road. If gas is needed for any new structure(s), it would likely be a service line request since main line is already existing.
- SW2. Application for gas line installation can be obtained by emailing request to scaes@swgas.com.
- SW3. Should there be any questions regarding installing new gas lines, please email questions/requests to the Southwest Gas Energy Solutions department at scaes@swgas.com. For other questions related to existing gas service, please reach out to our Contact Center at 877-860-6020.

LIBERTY UTILITIES

- L1. A 12-inch water main does exist in the easement north of Thunderbird Road across Wanaque Road. This is adequate to provide Multi-Family domestic water service.
- L2. Fire hydrants must be located in accordance with Apple Valley Fire Protection District's requirements and installed per Liberty Apple Valley standard drawings.
- L3. If a fire service line is required for this development, it must be installed in accordance with Apple Valley Fire Protection District's conditions and must comply with Rule 16 of the California Public Utilities Commission. An approved and tested customer owned backflow protection device is required.
- L4. Domestic service lines with water meters will be installed from the existing water main to the right-of-way line for this development. Approved and tested customer

11

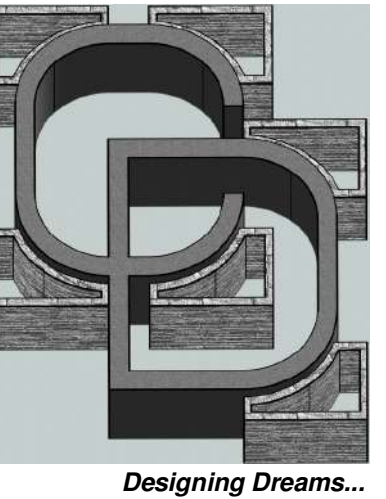
owned backflow protection devices are required.

- L5. All water lines and appurtenances required are to be installed in accordance with Liberty Apple Valley standards and specifications.
- L6. These conditions are for domestic water and offsite fire flow requirements, and do not include onsite private water lines or fire hydrants.

###

END OF CONDITIONS

PRINCIPAL DESIGNER:



Carrillo Design & Assoc. Inc.
 1881 Commercenter Dr E
 Suite 206
 San Bernardino, CA 92408
 P: (909) 571-5771
 E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE
 DIRECTION OF:
 CARLOS E. LARA, P.E.
 R.C.E. # 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
 (909) 471-6174

REV. #	DATE	BY
1		
2		
3		
4		
5		
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PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
**15380 WANAQUE RD
 APPLE VALLEY, CA 92307**

SHEET TITLE

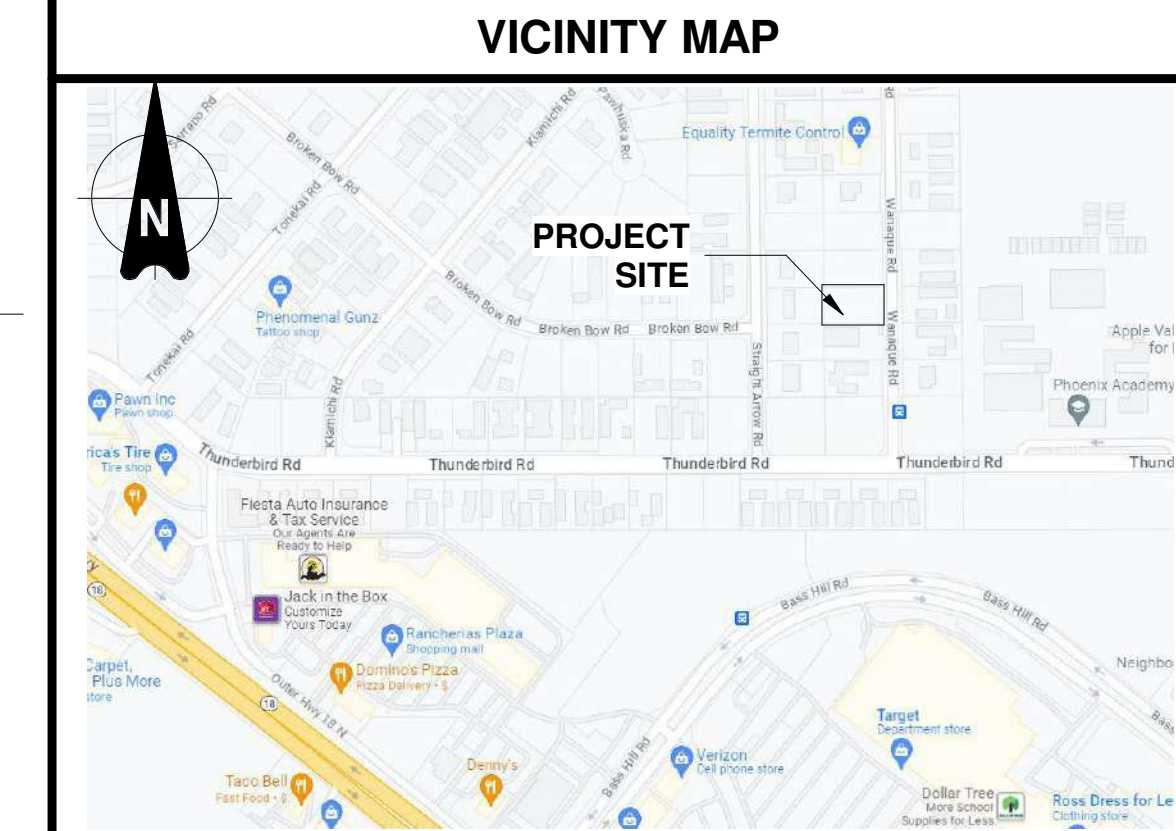
**CONDITIONS OF
 APPROVAL**

DATE: 5/28/2026 3:39:02 PM
 DRAWN: AA
 SCALE:
 JOB NO.: 42-23

A002

PINKY'S APARTMENTS

NEW APARTMENT COMPLEX (5-UNITS)



PROJECT INFORMATION

PROJECT NAME: PROPOSED APARTMENT COMPLEX OF 5-UNITS W/ ATTACHED 2-CAR GARAGE EACH UNIT
 PROJECT ADDRESS: 15380 WANAQUE RD, APPLE VALLEY, CA 92307
 APN: 0441-171-19-0000
 OWNER/CONTACT: REYES INVESTMENT CAPITAL, LLC. RAUL REYES
 PH: (909) 471-6174 E: REYESSINGLEPLY@LIVE.COM
 DESIGNER: GERARDO CARRILLO CARRILLO DESIGN & ASSOCIATES, INC. 1881 COMMERCENTER DR E STE #206 SAN BERNARDINO, CA 92408
 PH: (909) 499-0227 E: CARRILLODESIGNINC@GMAIL.COM
 STRUCT. ENGINEER: LAMDA ENGINEERING CARLOS LARA 20365 TONEY ST PERRIS, CA 92570
 PH: (951) 245-2578 E: LAMDAENGINEERING@YAHOO.COM

SCOPE OF WORK

PROPOSED APARTMENT COMPLEX OF 5-UNITS WITH ATTACHED 2-CAR GARAGE EACH UNIT

BUILDING INFORMATION

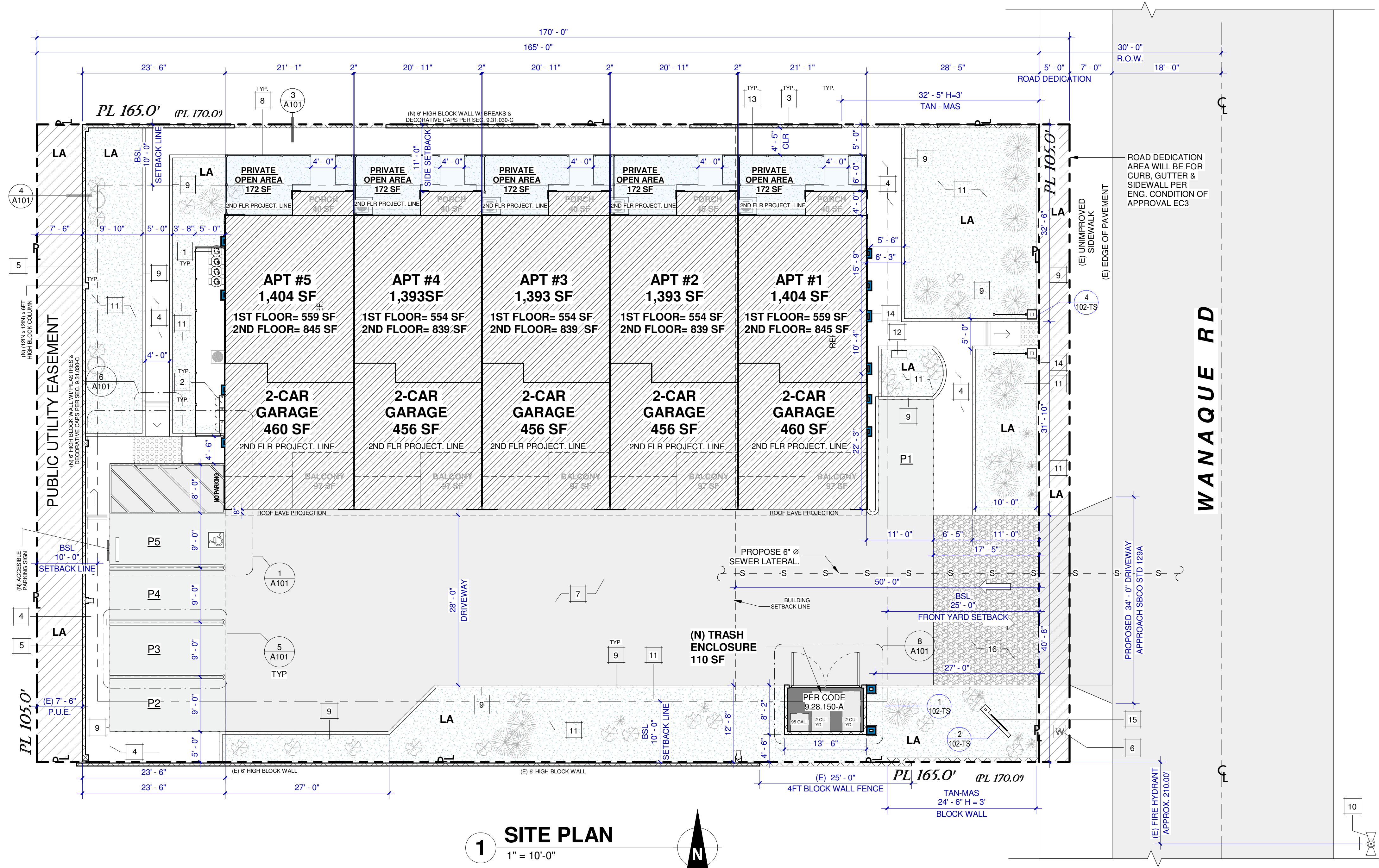
CONSTRUCTION TYPE: V-B
 ZONING: R-41
 OCCUPANCY: R-3U-ATTACHED
 STORIES: 2
 BUILDING HEIGHT: 26'-0"
 ROOF TRUSSES: BY DEFERRED
 FIRE SPRINKLERS: BY DEFERRED

LEGAL DESCRIPTION

APN: 0441-171-19-0000
 CITY: APPLE VALLEY
 COUNTY: SAN BERNARDINO
 STATE: CALIFORNIA
 LOT SIZE: 0.41 AC
 LOT: 115
 TRACT: 4112
 BOOK/PAGE: 0441/17

BUILDING SUMMARY

	FOOTPRINT AREA	LIVABLE AREA	TOTAL BUILDING CONSTRUCTION
APT.#1			
1ST FLOOR AREA:	559 SF	559 SF	559 SF
2ND FLOOR AREA:	--	845 SF	845 SF
2-CAR GARAGE:	460 SF	--	460 SF
PORCH:	40 SF	--	40 SF
BALCONY:	--	--	97 SF
APT.#2			
1ST FLOOR AREA:	554 SF	554 SF	554 SF
2ND FLOOR AREA:	--	839 SF	839 SF
2-CAR GARAGE:	456 SF	--	456 SF
PORCH:	40 SF	--	40 SF
BALCONY:	--	--	97 SF
APT.#3			
1ST FLOOR AREA:	554 SF	554 SF	554 SF
2ND FLOOR AREA:	--	839 SF	839 SF
2-CAR GARAGE:	456 SF	--	456 SF
PORCH:	40 SF	--	40 SF
BALCONY:	--	--	97 SF
APT.#4			
1ST FLOOR AREA:	554 SF	554 SF	554 SF
2ND FLOOR AREA:	--	839 SF	839 SF
2-CAR GARAGE:	456 SF	--	456 SF
PORCH:	40 SF	--	40 SF
BALCONY:	--	--	97 SF
APT.#5			
1ST FLOOR AREA:	559 SF	559 SF	559 SF
2ND FLOOR AREA:	--	845 SF	845 SF
2-CAR GARAGE:	460 SF	--	460 SF
PORCH:	40 SF	--	40 SF
BALCONY:	97 SF	--	97 SF
TRASH ENCLOSURE			
TRASH E. AREA:	110 SF	--	110 SF
TOTAL:	5,752 SF	6,987 SF	10,070 SF
LOT AREA:	17,850 SF		
TOTAL LOT COVERAGE:	36.55%		



1 SITE PLAN
 1" = 10'-0"

SITE LEGEND

	CONCRETE
	LANDSCAPE AREA
	YELLOW TACTILE PATH
	BLOCK WALL
	44" HIGH FENCE PER SPECS B/A102-TS
	PROPERTY LINE

KEYNOTES

1	PROPOSED GAS METER. VERIFY W/ THE GAS COMPANY FOR FINAL APPROVED LOCATION
2	PROVIDE 200 AMP ELECTRICAL METER FOR EACH UNIT
3	PROPOSED 6" HIGH CONCRETE STANDARD PRECISION BLOCK 8X8X16 COLOR TAN WITH BREAKS & CAPS. SEE DETAIL 3/A101 PER SEC. 9.31.050.M.5
4	CONCRETE WALKWAY
5	PROPOSED 6" HIGH CONCRETE STANDARD PRECISION BLOCK 8X8X16 COLOR TAN WITH PILASTRES & CAPS. SEE DETAIL 3/A101 PER SEC. 9.31.050.M.5
6	PROPOSED WATER METER LOCATION (CONTRACTOR TO VERIFY)
7	PROPOSED ASPHALT DRIVEWAY
8	PROPOSED 44-IN HIGH HOFT MANUF. OR SIM. BLACK ALUMINUM RAILING END POST AND HARDWARE - KIT A4 W/ 5/4" WOOD OR 1" COMPOSITE DECK BOARDS. SEE SPECS.
9	CONCRETE CURB
10	(E) FIRE HYDRANT
11	PROPOSED LANDSCAPE AREA
12	MAILBOXES LOCATION. SEE DETAIL A/102-TS
13	6" HIGH WOOD FENCE W/ 48" WIDE GATE
14	ARCHITECTURAL COLUMN
15	MONUMENT SIGNAGE
16	STAMPED CONCRETE

DRAINAGE NOTES:

- SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET. (2025 CRC SEC R401.3) **EXCEPTION:** WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2% AWAY FROM THE BUILDING.
- HEIGHT ABOVE FINISHED GRADE. CONCRETE AND MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS NOT LESS THAN 4 INCHES WHERE MASONRY VENEER IS USED AND NOT LESS THAN 6 INCHES ELSEWHERE. (2025 CRC SEC R404.1.6).

PLUMBING FIXTURES:

- ALL NONCOMPLIANT PLUMBING FIXTURES IN ANY RESIDENTIAL REAL PROPERTY SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT. (PER 2025 CALGREEN SEC. 4.303.1).
- 1.28 GPF MAX. WATER CLOSETS, 0.125 GPF MAX. URINALS, 1.8 GPM AT 80 PSI MAX. SHOWER HEADS, 1.2 GPM MAX. AT 60 PSI & 0.8 GPM MIN. AT 20 PSI LAVATORY FAUCETS, AND 1.8 GPM MAX. AT 60 PSI KITCHEN FAUCETS.

APPLICABLE BUILDING CODES

PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:
 "2025 CBC (IBC), 2025 CRC (IRC), 2025 CPC (UPC), 2025 CEC (NEC), 2025 CMC (UMC), 2025 CEN, 2025 CALGreen, 2025 CFC & Town of Apple Valley Development Code"

PARKING ANALYSIS

5 UNIT APARTMENT COMPLEX

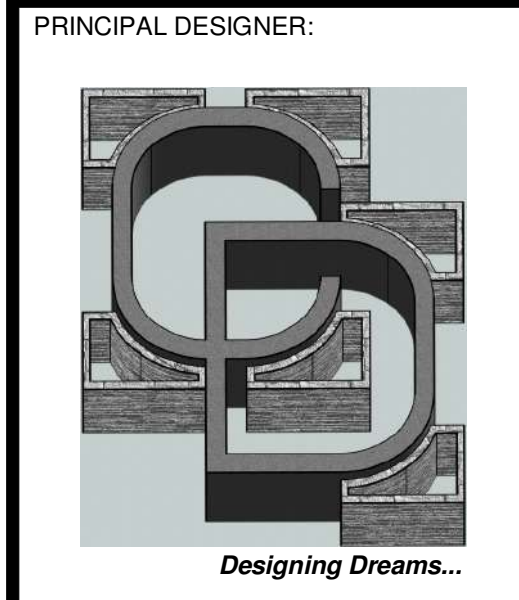
REQUIRED FOR EACH APARTMENT:
 (2) 2-CAR GARAGE
 (1) PARKING SPACE / UNIT

PROVIDED:

(5) 2-CAR GARAGE	=	10
(1) ADA PARKING	=	4
(4) STANDARD PARKING	=	4
TOTAL	=	15

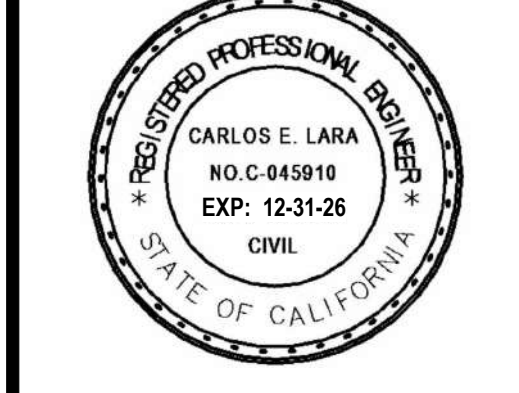
LANDSCAPING ANALYSIS

LANDSCAPE AREA:	2,679 SF	15.00%
ASPHAT AREA:	5,070 SF	28.40%
CONCRETE AREA:	2,278 SF	12.80%
BUILDING AREA:	6,524 SF	36.50%
R.O.W.:	525 SF	2.90%
P.U.E.:	774 SF	4.30%
LOT AREA:	17,850 SF	100%



Carrillo Design & Assoc. Inc.
 1881 Commercenter Dr E
 Suite 206
 San Bernardino, CA 92408
 P: (909) 571-5771
 E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE DIRECTION OF: CARLOS E. LARA, P.E. R.C.E.# 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
 (909) 471-6174

REV. #	DATE	BY

APARTMENT COMPLEX

PROJECT TITLE: APARTMENT COMPLEX
 PROJECT LOCATION: 15380 WANAQUE RD, APPLE VALLEY, CA 92307

SITE PLAN

DATE: 5/28/2026 3:39:04 PM
 DRAWN: AA
 SCALE: As indicated
 JOB NO.: 42-23

A100

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS TAKE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.

HOUSING ACCESSIBILITY NOTES:

SECTION 1102A BUILDING ACCESSIBILITY
1102A.1 Where required. Buildings or portions of buildings and facilities within the scope of this chapter shall be accessible to persons with disabilities. Each building on a building site shall be considered separately when determining the requirements contained in this chapter, except when calculating the number of units which must comply with Section 1102A.3.1. Dwelling units within a single structure separated by firewalls do not constitute separate buildings.
 Newly-constructed covered multifamily dwellings as defined in this chapter, include, but are not limited to, the following:
 1. Apartment buildings with 3 or more dwelling units including timeshare apartments not considered a place of public accommodation or transient lodging as defined in Health and Safety Code Section 19955 (a), and Chapter 2 of the California Building Code.
 2. Condominiums with 4 or more dwelling units including timeshare condominiums not considered a place of public accommodation or transient lodging as defined in Health and Safety Code Section 19955 (a), and Chapter 2 of the California Building Code.
 3. Lodging houses, as defined in Chapter 2 of the California Building Code, used as a residence with more than 3 but not more than 5 guest rooms.
 4. Congregate residences, as defined in Chapter 2 of the California Building Code, with 3 or more sleeping units.
 5. Dwellings with 3 or more efficiency units, as defined in Chapter 2 of this code, or Section 17958.1 of the California Health and Safety Code.
 6. Shelters for homeless persons, not otherwise subject to the disabled access provisions of the Division of the State Architect-Access Compliance (DSA-AC).
 7. Dormitories, as defined in Chapter 2 of this code, with 3 or more guest rooms as defined in Chapter 2 of the California Building Code.
 8. Timeshare dwellings with 3 or more units, not considered a place of public accommodations or transient lodging as defined in Health and Safety Code Section 19955 (a), and Chapter 2 of the California Building Code.
 9. Other Group R occupancies in covered multifamily dwellings which are regulated by the Office of the State Fire Marshal. See Section 1.11.
 10. Public housing as defined in Chapter 2 of this code is subject to provisions of the Division of the State Architect (DSA-AC) in Chapter 11B. Newly constructed covered multifamily dwellings, which can also be defined as public housing, shall be subject to the requirements of Chapter 11A and Chapter 11B.

1102A.3 Multistory dwellings.
1102A.3.1 Multistory apartment or condominium dwellings in buildings with no elevator. This section shall apply to multistory dwelling units on the ground floor of buildings without elevators for which an application for a construction permit is submitted on or after July 1, 2005.
Exception: Carriage units as defined in Chapter 2 and regulated only by the Department of Housing and Community Development as referenced in Section 1.8.2.1.2. At least 10 percent but not less than one of the multistory dwellings in apartment buildings with 3 or more dwelling units and/or condominiums with 4 or more dwelling units shall comply with the following:
 1. The primary entry to the dwelling unit shall be on an accessible route unless exempted by site impracticality tests in Section 1150A.
 2. At least one powder room or bathroom shall be relocated on the primary entry level, served by an accessible route and shall comply with the provisions in Division IV.
 3. All rooms or spaces located on the primary entry level shall be served by an accessible route and shall comply with the provisions in Division IV. Rooms and spaces located on the primary entry level and subject to this chapter may include but are not limited to kitchens, powder rooms, bathrooms, living rooms, bedrooms or hallways.
 4. Common use areas covered by this section shall be accessible as required by this chapter. Public use areas as defined in Chapter 2 of this code are subject to provisions of the Division of the State Architect (DSA-AC) and are referenced in Section 1.9.1.1.
 The minimum number of multifamily dwelling units which must comply with this section shall be calculated using the total number of all multistory dwelling units in buildings on a site which are subject to this section. Any fraction thereof shall be rounded to the next highest whole number.

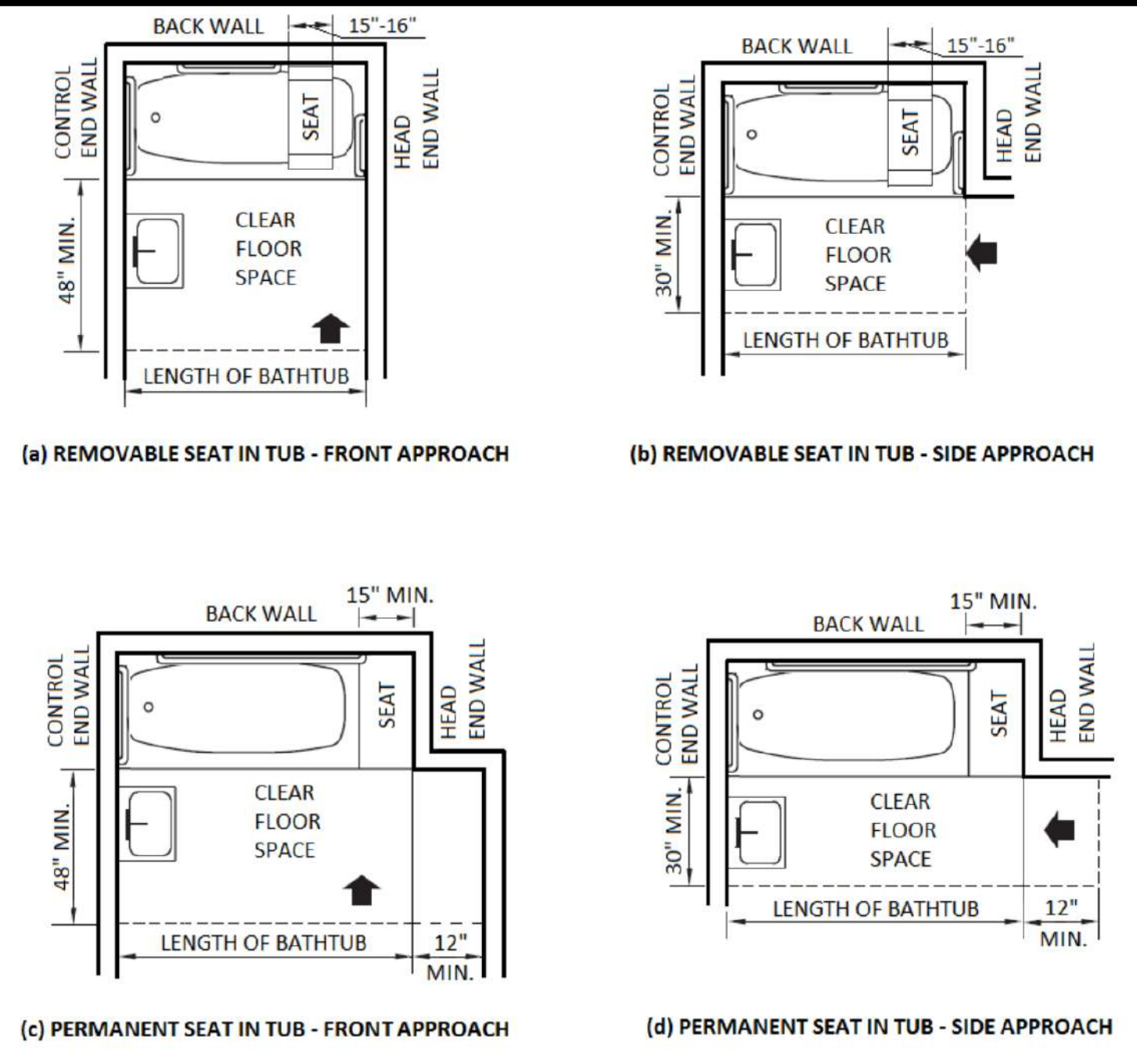
SECTION 1104A COVERED MULTIFAMILY DWELLINGS
1104A.1 General. All ground-floor dwelling units in nonelevator buildings shall be adaptable and on an accessible route, unless an accessible route is not required as determined by site impracticality provisions in Section 1150A. For buildings with elevators, see Section 1106A.
 Multifamily dwelling units shall comply with Section 1102A.3.
1104A.2 Ground floors above grade. Where the first floor containing dwelling units in a building is above grade, all units on that floor shall be served by an accessible route. This floor will be considered a ground floor and all dwelling units are considered covered multifamily dwelling units.
Exception: Carriage units as defined in Chapter 2 and regulated only by the Department of Housing and Community Development as referenced in Section 1.8.2.1.2. Multifamily dwelling units shall comply with Section 1102A.3.

SECTION 1109A PARKING FACILITIES
1109A.1 Accessible parking required. Each parking facility provided for covered multifamily dwellings and facilities (e.g., swimming pools, club houses, recreation areas and laundry rooms) that serve covered multifamily dwellings shall provide accessible parking as required by this section.
1109A.2 Parking facilities. Parking facilities shall include, but not be limited to, the following:
 1. Garages
 2. Private garages
 3. Carports
 4. Off-street parking (parking lots/spaces)
1109A.2.1 Private garages. Private garages accessory to covered multifamily dwelling units, shall be accessible as required in Section 1109A. Private garages include individual garages and multiple individual garages grouped together.
Exception: A private garage attached to and directly serving a single covered multifamily dwelling unit providing at least one of the following options:
 1. A door leading directly from the covered dwelling unit, which immediately enters the garage.
 2. The door shall comply on both sides with Sections 1132A.3 through 1132A.9.
 3. An accessible route of travel from the covered dwelling unit to an exterior door entering the garage. See Section 1132A.1 for requirements at both exit doors.
 4. An accessible route of travel from the dwelling unit's primary entry door to the vehicular entrance at the garage. See Section 1132A.1 for requirements at the primary entry door.
1109A.3 Required accessible parking spaces. Accessible parking spaces shall be provided at a minimum rate of 2 percent of the covered multifamily dwelling units. At least one space of each type of parking facility shall be made accessible even if the total number exceeds 2 percent.
1109A.4 Assigned accessible parking spaces. When assigned parking spaces are provided for a resident or a group of residents, at least 2 percent of the assigned parking spaces serving covered multifamily dwelling units shall be accessible in each type of parking facility. At least one space of each type of parking facility shall be made accessible even if the total number exceeds 2 percent. When assigned parking is provided, signage as required by Section 1109A.8 shall not be required.

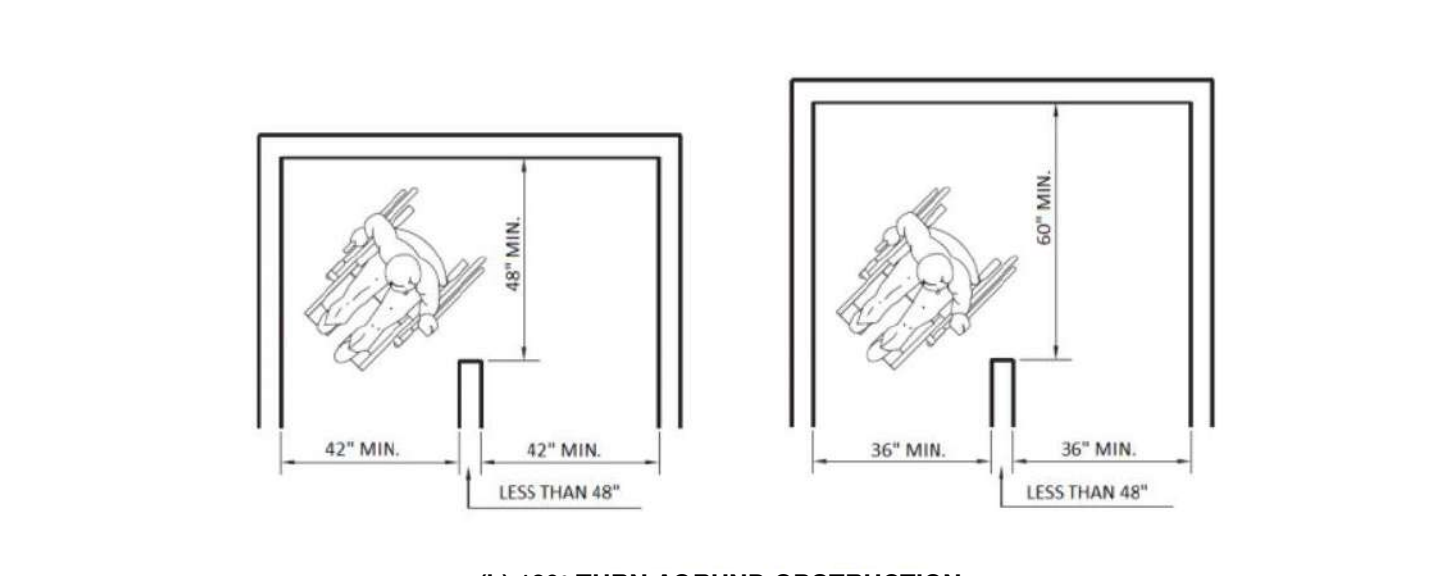
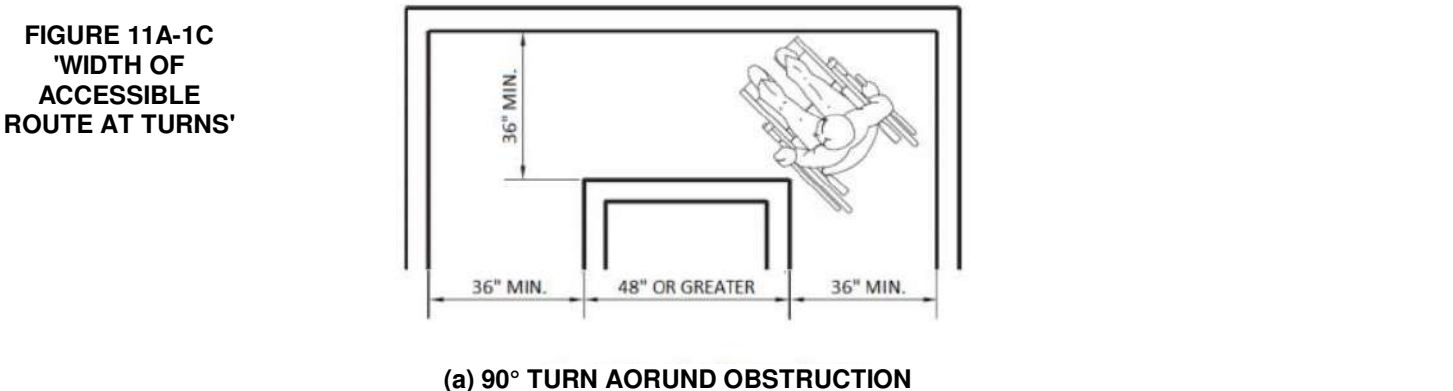
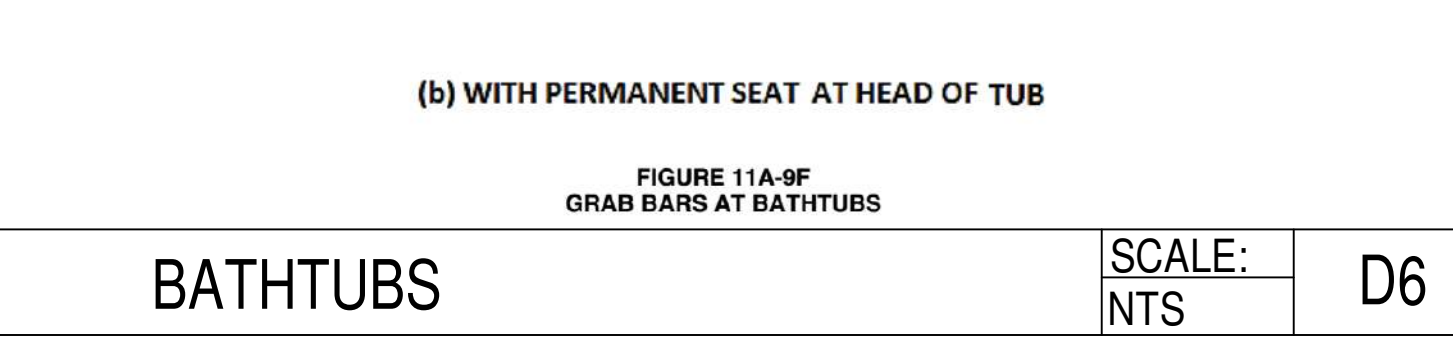
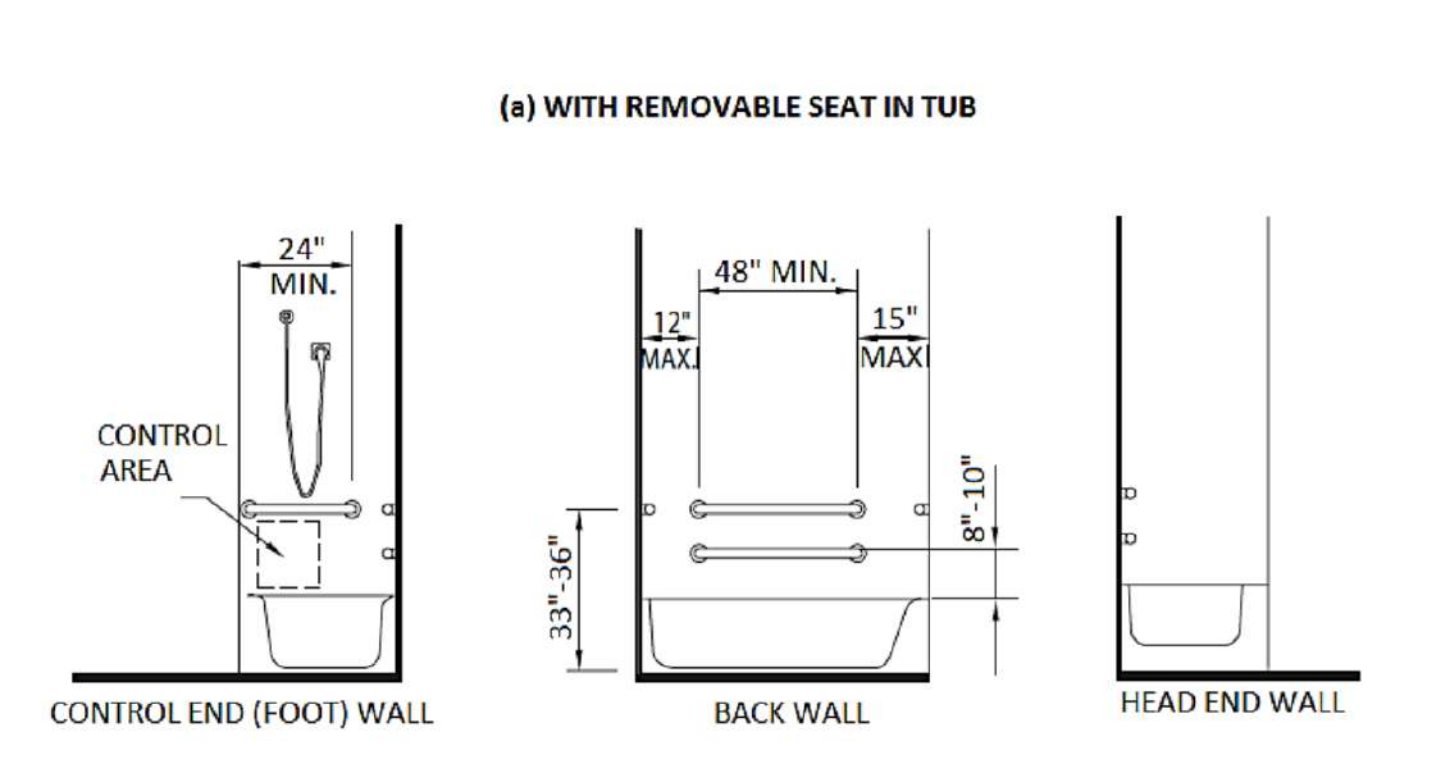
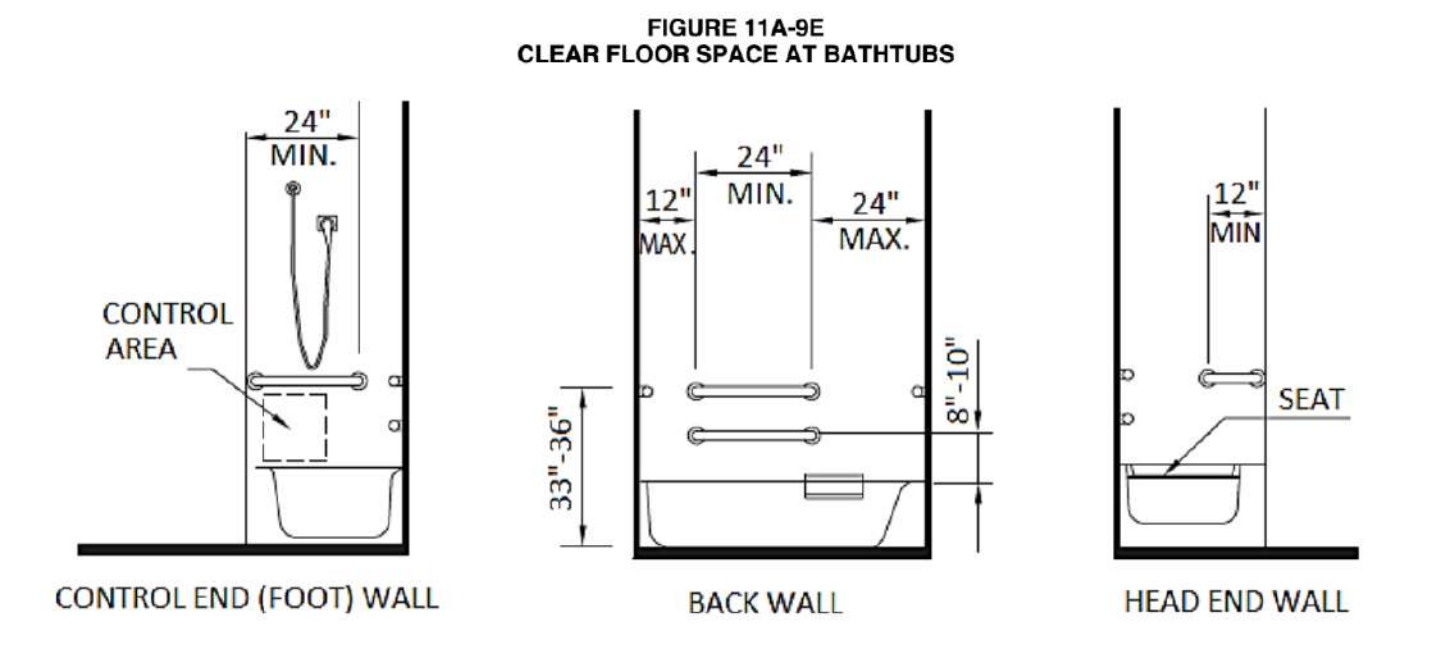
SECTION 1128A COVERED DWELLING UNITS
1128A.1 General. Covered multifamily dwelling units shall be adaptable and accessible into and throughout the dwelling unit as provided in this division.
Note: See Sections 1101A "Application" and 1102A "Building Accessibility" for dwelling units required to comply with this division.
SECTION 1130A ACCESSIBLE ROUTE WITHIN COVERED MULTIFAMILY DWELLING UNITS
1130A.1 General. An accessible route shall be provided through all rooms and spaces of the dwelling unit. The accessible route shall pass through the primary entry door, and shall connect with all additional exterior doors, required clear floor spaces at kitchen appliances and bathroom fixtures. For the purpose of this section, "accessible routes" may include hallways, corridors and ramps.
Exception: An accessible route is not required from the interior of the unit into a basement or garage, except as provided in Section 1105A.1.
1130A.2 Width. The accessible route into and throughout covered multifamily dwelling units shall be at least 36 inches wide.

SECTION 1131A CHANGES IN LEVEL ON ACCESSIBLE ROUTES
1131A.1 Changes in level not exceeding 1/2 inch. Abrupt changes in level along any accessible route shall not exceed 1/2 inch (12.7 mm). When changes in level do occur, they shall be beveled with a slope no greater than 1 unit vertical in 2 units horizontal (50-percent slope). Changes in level not exceeding 1/4 inch (6.35 mm) may be vertical.
1131A.2 Changes greater than 1/2 inch. Changes in level greater than 1/2 inch (12.7 mm) shall be made by means of a sloped surface not greater than 1 unit vertical in 20 units horizontal (5-percent slope), or a ramp, elevator or platform (wheelchair) lift. See Section 1122A for ramps and Section 1124A.11 for platform (wheelchair) lifts.

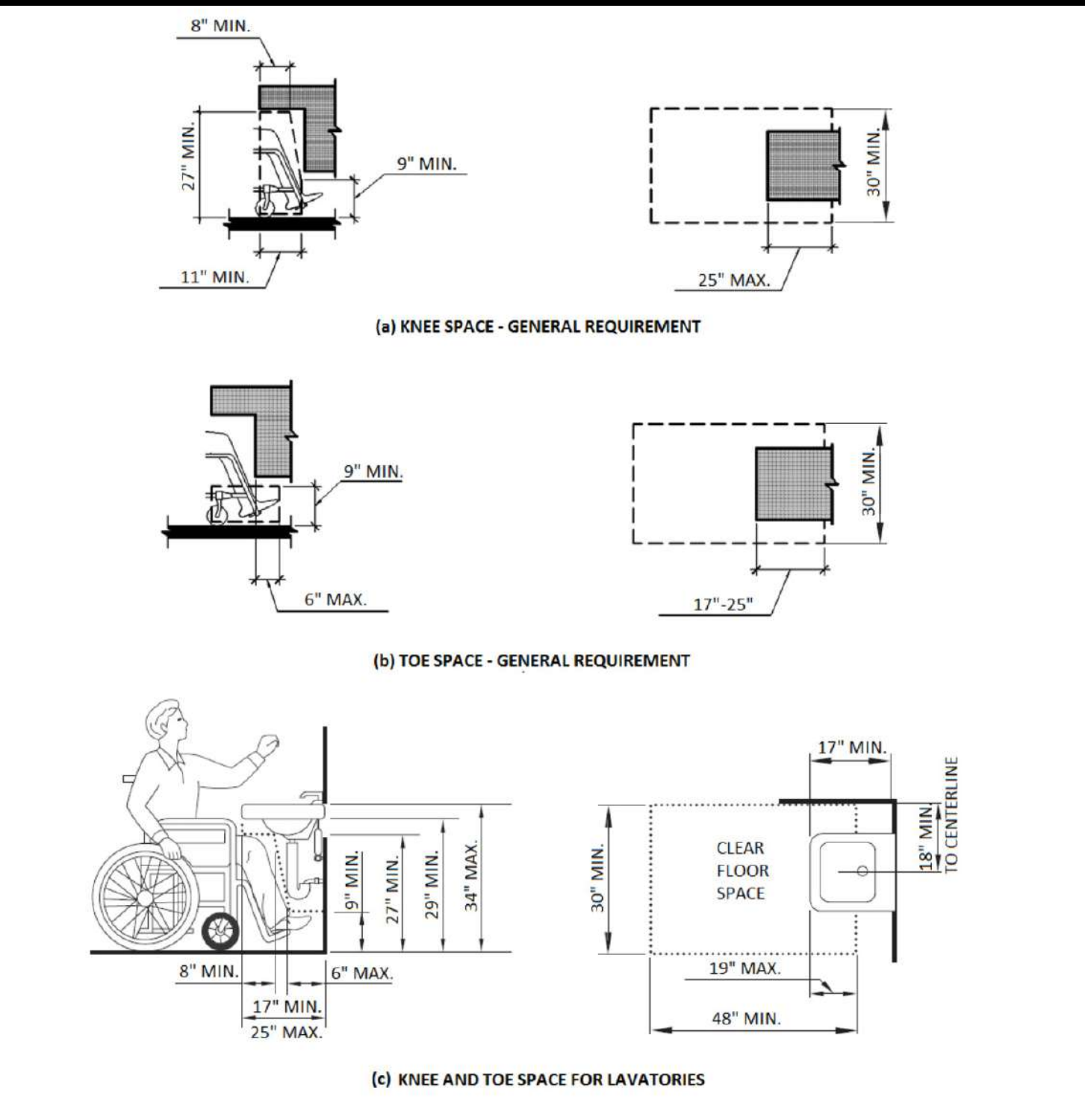
SECTION 1132A DOORS
1132A.1 Primary entry doors and required exit doors. The width and height of primary entry doors and all required exit doors shall comply with Section 1126A.1. The requirements of Sections 1126A.3 shall apply to maneuvering clearances at the side of the door exposed to common or public use spaces (e.g., entry or exit doors which open from the covered multifamily dwelling unit into a corridor, hallway or lobby, or directly to the outside).
1132A.2 Interior doors and secondary exterior doors. Except as allowed by Section 1109A.2, interior doors intended for user passage and secondary exterior doors shall comply with this section. The provisions of this section shall apply to the dwelling unit side of doors leading from the interior of the dwelling unit to an unfinished basement or an attached garage.
1132A.3 Width and height of interior doors and secondary exterior doors. Doors shall comply with the following:
 1. Doors shall not be less than 6 feet 8 inches (2032 mm) in height.
 2. Swinging doors shall provide a net clear opening width of not less than 32 inches (813 mm), measured with the door or doors positioned at an angle of 90 degrees from the closed position.
 3. Swinging doors shall be capable of opening at least 90 degrees.
 4. A nominal 32-inch (813 mm) clear opening provided by a standard 6-foot wide (1829 mm) sliding patio door assembly is acceptable.
 5. A pair of doors, manual or automatic, must have at least one leaf which provides a clear width of not less than 32 inches (813 mm), measured with the door positioned at an angle of 90 degrees from the closed position.
 6. The width of any component in the means of egress system shall not be less than the minimum width required by Section 1005.
1132A.4 Level floor or landing. See also Chapter 10. The floor or landing on each side of a door shall be level. Primary entry doors, required exit doors or secondary exterior doors with changes in height between the interior surface or floor level and the exterior surface or floor level shall comply with the following:
 1. Exterior landings of impervious construction (e.g., concrete, brick, flagstone) serving primary entry doors and required exit doors are limited to not more than 1/2 inch (12.7 mm) of change in height between floor surfaces. Changes in level shall comply with Section 1131A.



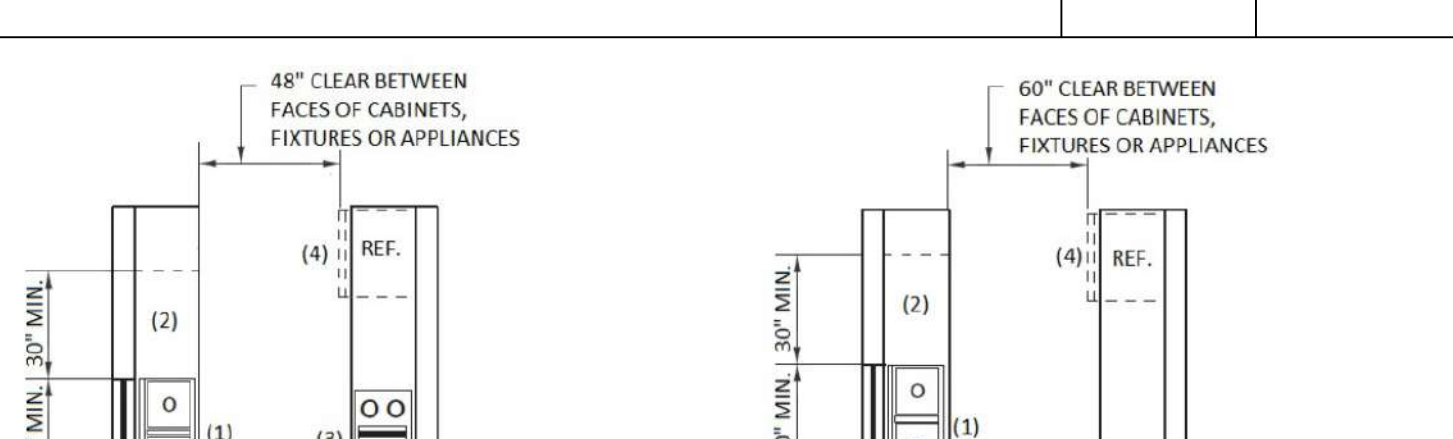
NOTE: SEE FIGURE 11A-9F FOR SIZE OF GRAB BARS



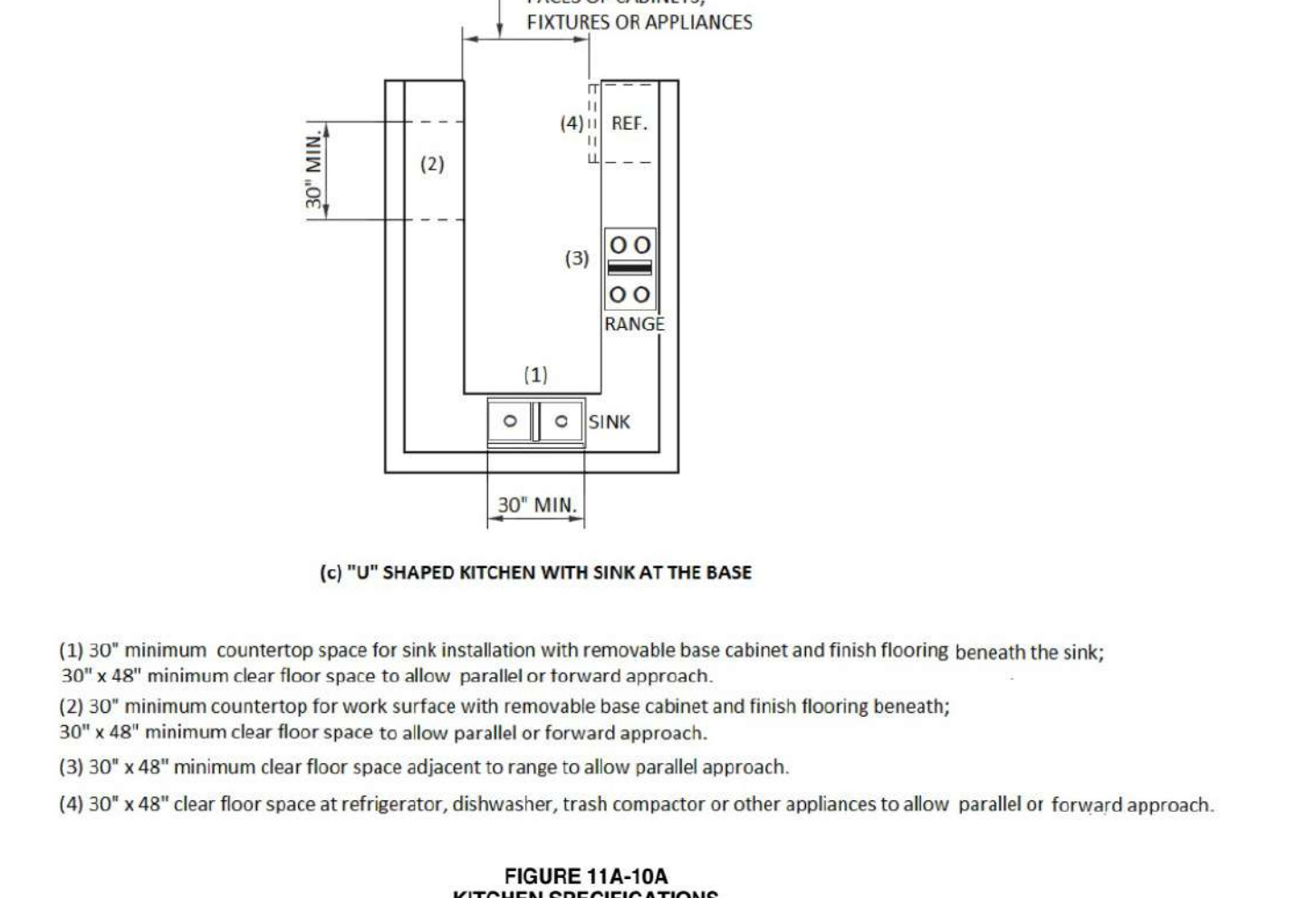
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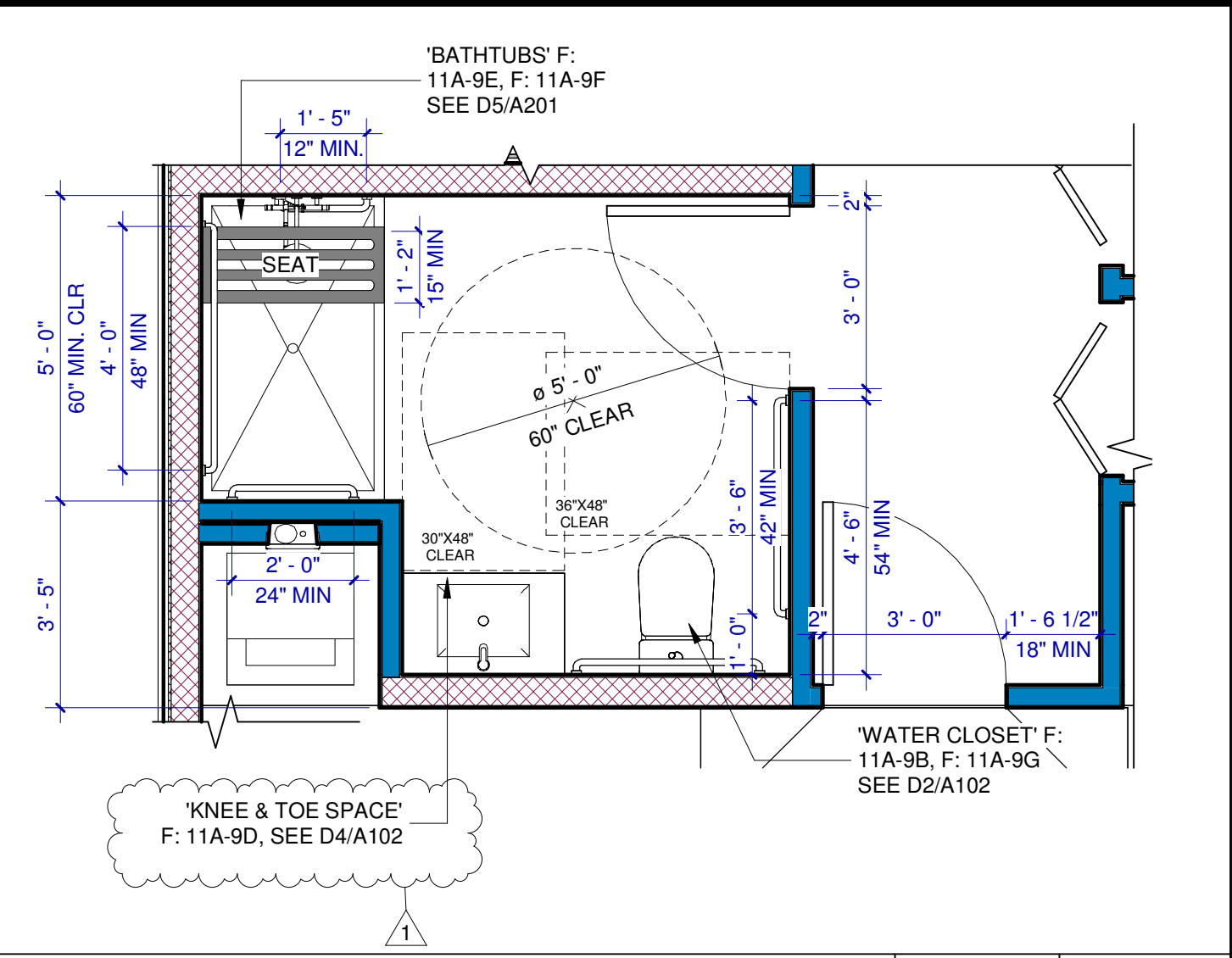
SCALE: NTS D4



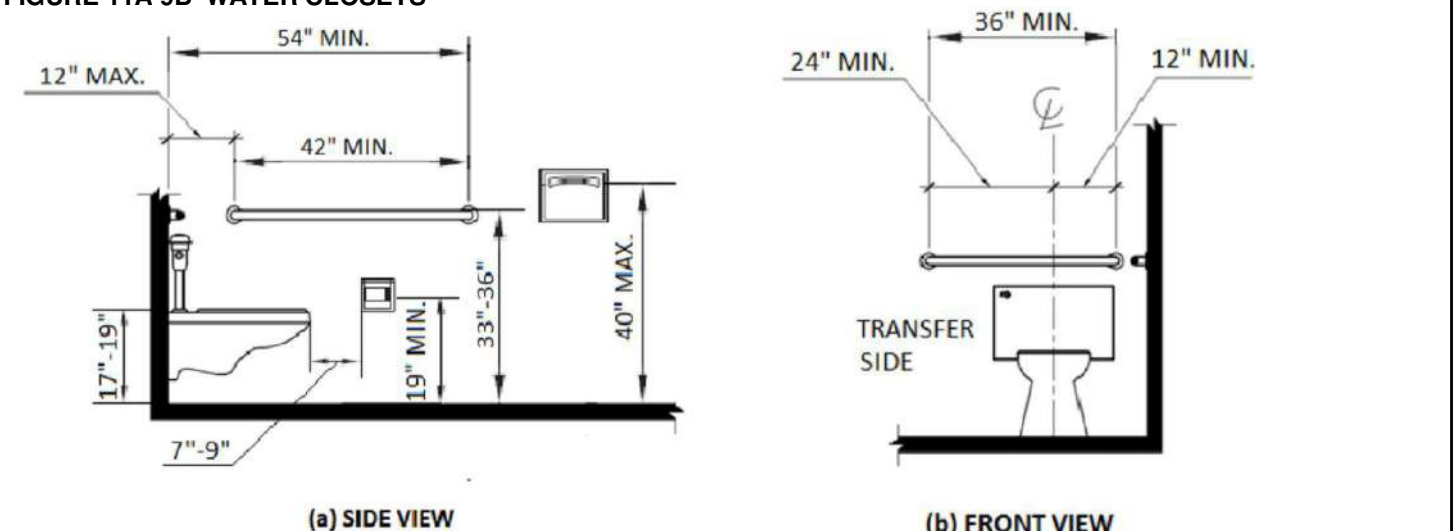
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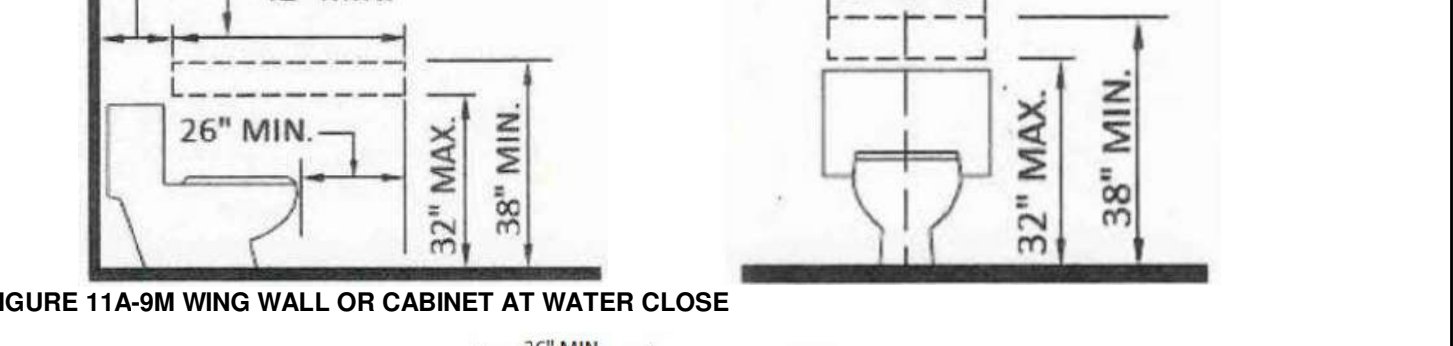
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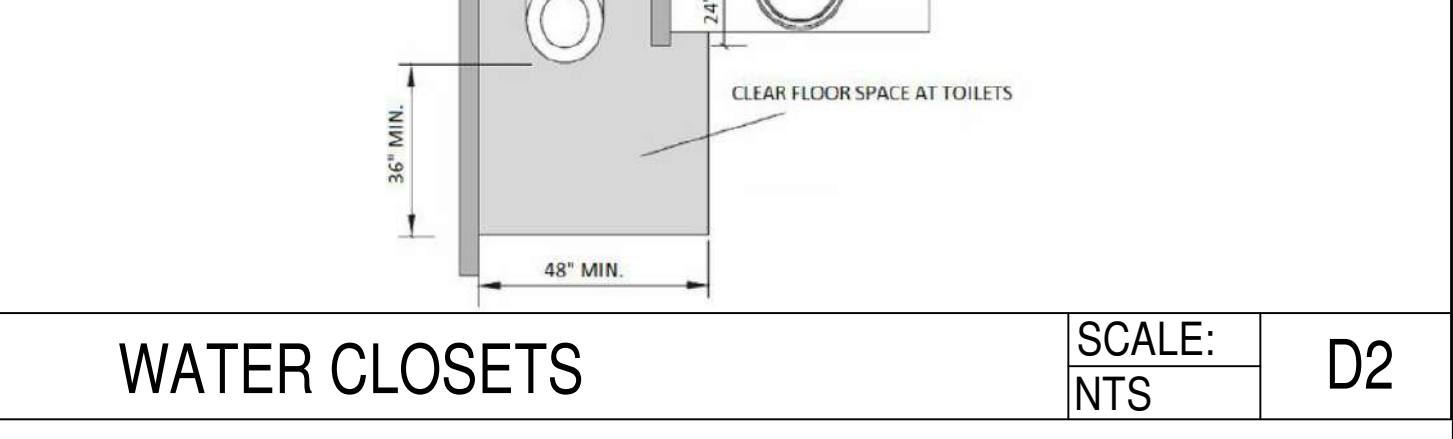
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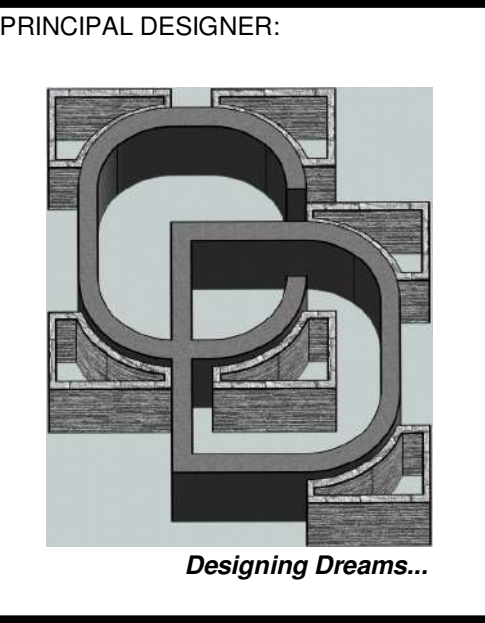
SCALE: NTS D2



SCALE: NTS D9



SCALE: NTS D3



Carrillo Design & Assoc. Inc.
 1881 Commercenter Dr E
 Suite 206
 San Bernardino, CA 92408
 P: (909) 571-5771
 E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE DIRECTION OF:
 CARLOS E. LARA, P.E.
 R.C.E. # 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
 (909) 471-6174

REV. #	DATE	BY	FO
1	02/27/26		

PROJECT TITLE: **APARTMENT COMPLEX**
 PROJECT LOCATION: **15380 WANAUKE RD, APPLE VALLEY, CA 92307**

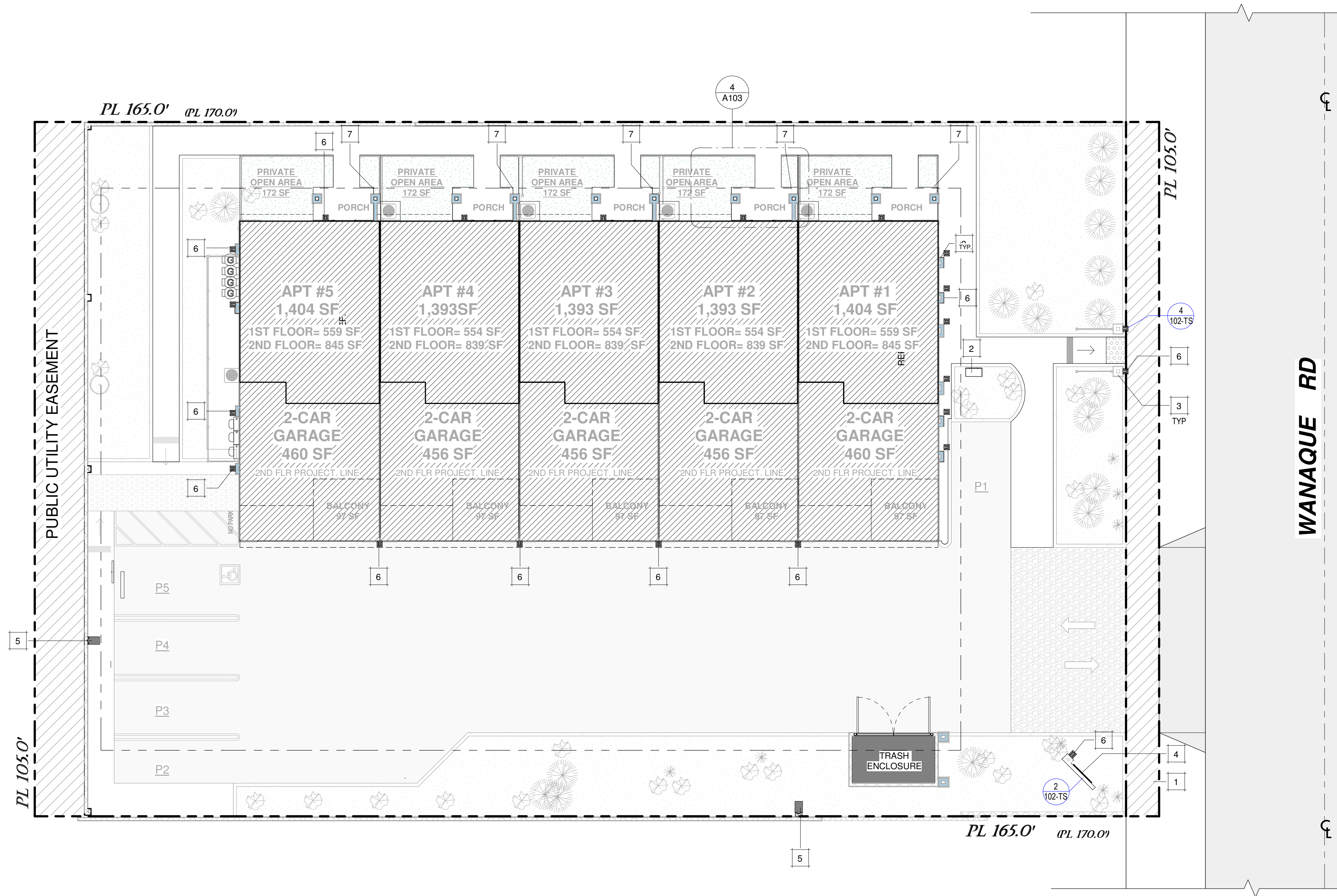
SHEET TITLE: **ACCESSIBILITY STANDARDS 'FLOOR PLAN'**

DATE: 5/28/2026 3:39:07 PM
 DRAWN: AA
 SCALE: As indicated
 JOB NO.: 42-23

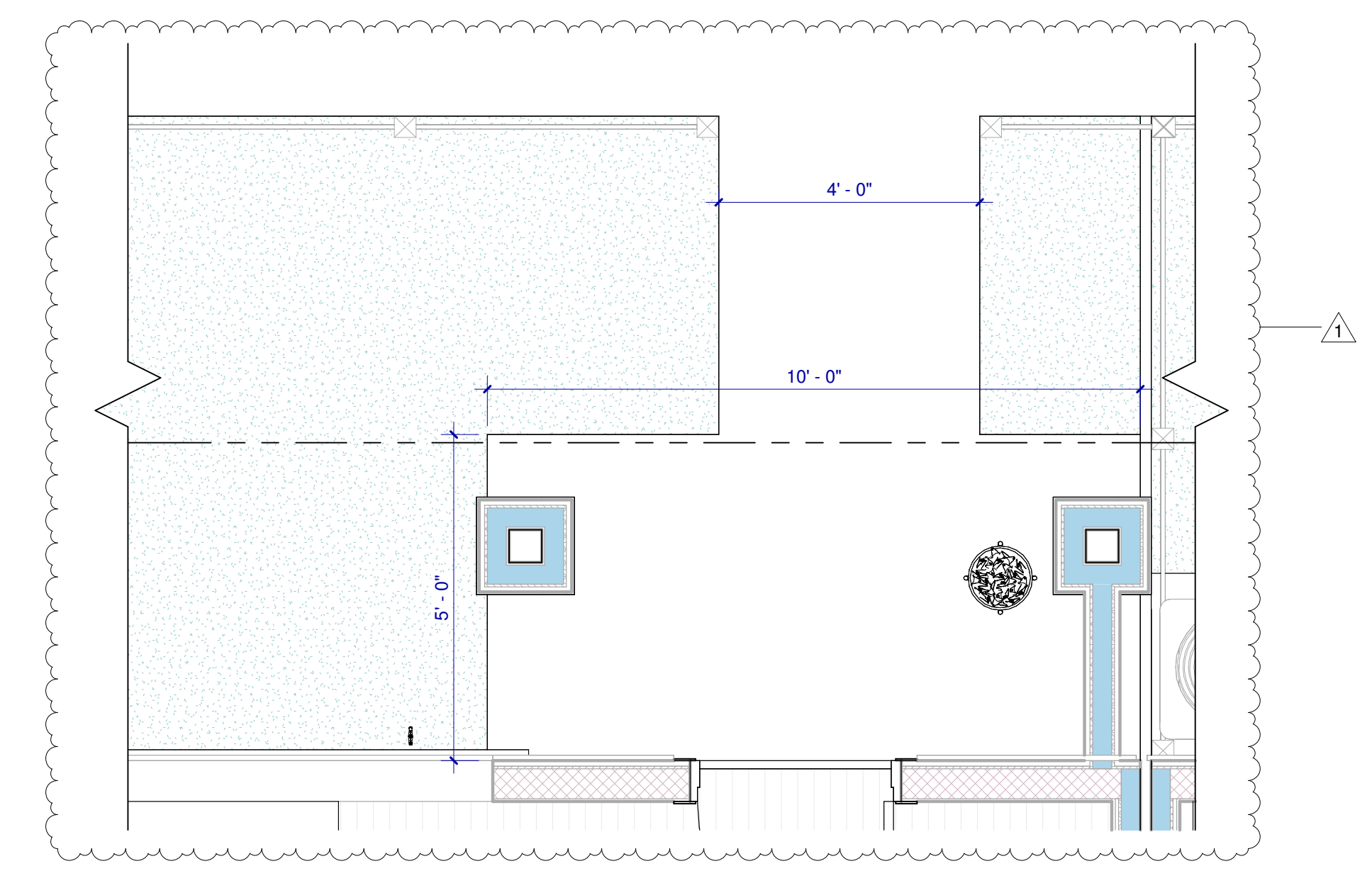
A102

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER CALLED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND CONDITIONS SHOWN BY THESE DRAWINGS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.

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10 SITE LIGHTING PLAN
1" = 10'-0"



4 SITE LIGHTING PLAN - Callout 1
1:25

SITE LIGHTING NOTES

- All on-site lighting shall be stationary, directed away from adjacent properties and public rights-of-way.
- Lighting fixtures shall be of a type and shall be located such that no light or reflected glare is directed off-site and shall provide that no light is directed above the horizontal plane.
- When on-site lighting occurs, low-rise, pedestrian scale lighting fixtures shall be used in common open space areas, adjacent to dwellings, and along pedestrian and bicycle paths. The maximum height of such a fixture shall be fifteen (15) feet.

HAWAII MONTEPIER 1-LIGHT OIL RUBBED BRONZE HARDWIRED 12.4 IN. H DUSK TO DAWN OUTDOOR WALL LANTERN SCONCE (2-PACK)



MODEL # MX7003-W1BR

Product Details

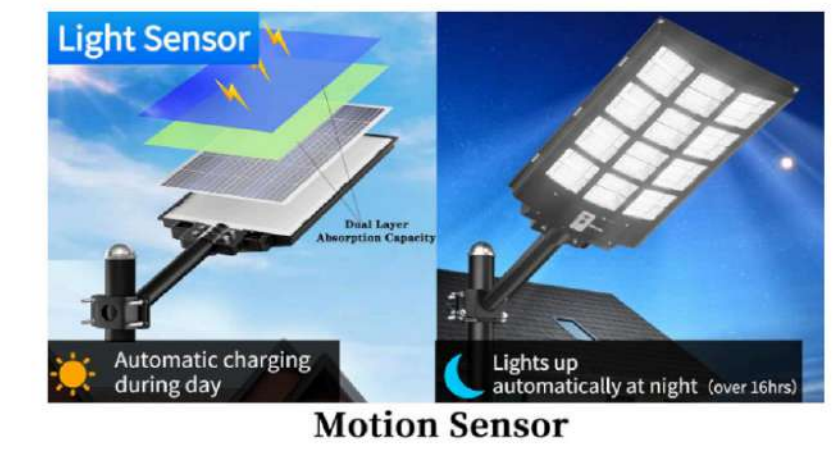
About This Product
This small outdoor lantern from Maxx features a sturdy, sleek frame detail. And boasts a compact water glass panel to create a modern minimalist and contemporary industrial look. Perfect for modern home decor, this 2-pack of outdoor wall-mounted lanterns in a sand grain black finish is reflective by the water glass to become more softly diffused light. Like the controlling lighting of the lantern, the lantern has a dusk-to-dawn feature that allows it to turn on and off at dawn. The light body is open underneath, easy to install, and remove and the direction of light, with weather resistance and waterproof and moisture-proof characteristics. The product is certified by the U.S. ETL for safe and stable quality, and can be purchased with confidence.

Highlights

- Easy to install hardware, manual included for easy installation
- Dark sky friendly (dark sky compliant) dusk to dawn outdoor wall sconce compliant with energy star
- ETL certification: the products have ETL certification and are allowed to be used in the area where you live
- Weatherproof, waterproof, heat-resistant, snow-proof
- Outdoor area outdoor wall sconce for front door garage doorway, deck area front porch, ramp location, wet location are applicable
- Light source: medium base bulb please use E26, 60-Watt (maximum wattage) type light bulb that can compatible with LED light bulb and incandescent bulb (not included) 110-120 Volt voltage
- Outdoor wall lantern (double light fixture) has a multi black finish and clear seeded glass shade, and with installation hardware (mounting hardware)
- Practicality and for your dedicated service: we are a us seller, and ship within 1-2 business days from the us, in addition, please do not hesitate to contact us if there is any quality issue with this item or if you are not happy with your purchase, we will help you solve it within 24-hours
- Note: If it is installed during the day, please cover the light sensor after turning on the water, and the lamp will light up
- If you have any questions, please contact

E- WALL-MOUNT OUTDOOR LIGHT
SCALE 1/4" = 1'-0" **1**

OFURAY OF-5600W SOLAR STREET LIGHTS OUTDOOR, 460000Lm SOLAR SECURITY FLOOD LIGHTS PARKING LOT, DUSK TO DAWN, 6500k WATERPROOF LED WITH REMOTE CONTROL MOTION FOR STREET,



Product information

Features & Specs

Light Source Type	Light Emitting Diode
Power Source	Solar Powered
Mounting Type	Wall Mount, Pole Mount
Light Source Special Features	Motion detection, Adjustable brightness, Waterproof
Number of Light Sources	1

Style

Color	White
Shape	Rectangular
Finish Types	Waterproof Coated
Style Name	Ofuray Of-5600W Solar Street Lights Outdoor Waterproof

Materials & Care

Material Type	Metal
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Item details

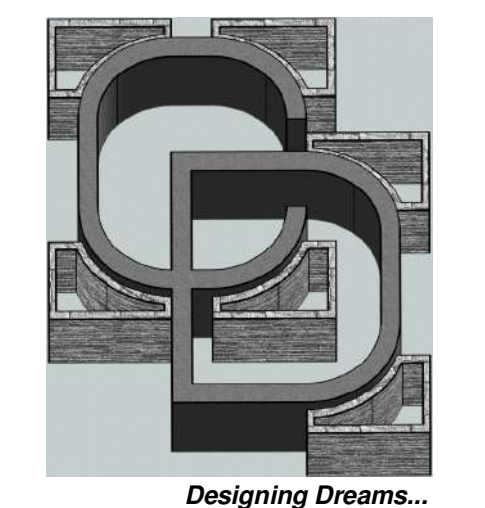
Brand Name	Ofuray
ASIN	B0DM56P7VF

E- SOLAR PARKING LOT LIGHT
SCALE 1/4" = 1'-0" **2**

KEYNOTES

- PROPOSED WATER METER LOCATION (CONTRACTOR TO VERIFY)
- MAILBOXES LOCATION. SEE DETAIL A102-TS
- ARCHITECTURAL COLUMN
- MONUMENT SIGNAGE
- SOLAR PARKING LOT LIGHTS FIXTURES. SEE SHT A103 FOR SPECS
- OUTDOOR WALL MOUNTED LIGHT FIXTURE SEE SHT A-103 FOR SPEC #1
- APARTMENT ADDRESS NUMBER THAT ARE MINIMUM OF FOUR (4) INCHES IN HEIGHT AND WITH A ONE HALF (1/2")

PRINCIPAL DESIGNER:



Carrillo Design & Assoc. Inc.
1881 Comcenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE DIRECTION OF:
CARLOS E. LARA, P.E.
R.C.E.# 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
(909) 471-6174

REV. #	DATE	BY	FO
1	02/27/26		
2			
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PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
**15380 WANAQUE RD
APPLE VALLEY, CA 92307**

SHEET TITLE
SITE LIGHTING PLAN

DATE: 5/28/2026 3:39:09 PM
DRAWN: AA
SCALE: As indicated
JOB NO.: 42-23

A103

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APARTMENT #4

DOOR SCHEDULE "APART 4"				
MARK	WIDTH	HEIGHT	TYPE DESCRIPTION	COMMENTS
D401	3'-0"	6'-8"	SOLID CORE 1 3/4" THICK	FRONT DOOR SWING
D402	2'-6"	6'-8"	HOLLOW CORE	SWING
D403	3'-0"	6'-8"	HOLLOW CORE	SWING
D404	3'-0"	6'-8"	SOLID CORE 1 3/8" THICK	FIRE RATED SELF-CLOSING DEVICE
D405	16'-0"	7'-0"	PRE-FAB GARAGE DOOR	DOUBLE CAR
D406	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D407	2'-6"	6'-8"	HOLLOW CORE	SWING
D408	2'-10"	6'-8"	HOLLOW CORE	SWING
D409	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D410	2'-6"	6'-8"	HOLLOW CORE	SWING
D411	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D412	2'-4"	6'-8"	HOLLOW CORE	SWING
D413	2'-6"	6'-8"	HOLLOW CORE	SWING
D414	2'-6"	6'-8"	HOLLOW CORE	SWING
D415	6'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D416	2'-4"	6'-8"	HOLLOW CORE	SWING
D417	5'-0"	6'-8"	VINYL SLIDING DOOR	TEMPERED GLASS
D418	2'-8"	6'-8"	SOLID CORE 1 3/4" THICK	SWING

NOTE: GLASS DOOR SHOULD HAVE TEMPERED GLASS W/ A U-FACTOR= 0.30 & SHGC= 0.20

WINDOW SCHEDULE APART. #4				
MARK	WIDTH	HEIGHT	TYPE	REMARKS
W401	8'-0"	5'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS
W402	5'-0"	4'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS
W403	5'-0"	4'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS
W404	5'-0"	4'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS

NOTE: WINDOWS SHALL HAVE A U-FACTOR=0.30 AND SHGC=0.20

APARTMENT #5

DOOR SCHEDULE "APART 5"				
MARK	WIDTH	HEIGHT	TYPE DESCRIPTION	COMMENTS
D501	3'-0"	6'-8"	SOLID CORE 1 3/4" THICK	FRONT DOOR SWING
D503	3'-0"	6'-8"	HOLLOW CORE	SWING
D504	3'-0"	6'-8"	SOLID CORE 1 3/8" THICK	FIRE RATED SELF-CLOSING DEVICE
D505	16'-0"	7'-0"	PRE-FAB GARAGE DOOR	DOUBLE CAR
D506	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D507	2'-6"	6'-8"	HOLLOW CORE	SWING
D508	2'-10"	6'-8"	HOLLOW CORE	SWING
D509	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D510	2'-6"	6'-8"	HOLLOW CORE	SWING
D511	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D512	2'-4"	6'-8"	HOLLOW CORE	SWING
D513	2'-6"	6'-8"	HOLLOW CORE	SWING
D514	2'-6"	6'-8"	HOLLOW CORE	SWING
D515	6'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D516	2'-4"	6'-8"	HOLLOW CORE	SWING
D517	5'-0"	6'-8"	VINYL SLIDING DOOR	TEMPERED GLASS
D518	2'-8"	6'-8"	SOLID CORE 1 3/4" THICK	SWING
D519	2'-10"	6'-8"	HOLLOW CORE	BI-FOLD
D520	2'-10"	6'-8"	HOLLOW CORE	BI-FOLD

NOTE: GLASS DOOR SHOULD HAVE TEMPERED GLASS W/ A U-FACTOR= 0.30 & SHGC= 0.20

WINDOW SCHEDULE APART. #5				
MARK	WIDTH	HEIGHT	TYPE	REMARKS
W501	8'-0"	5'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass
W502	5'-0"	4'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass
W503	5'-0"	4'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass
W504	5'-0"	4'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass

NOTE: WINDOWS SHALL HAVE A U-FACTOR=0.30 AND SHGC=0.20

ENERGY REPORT - LOWRISE MULTIFAMILY

D2.MULTIFAMILY REQ'D SPECIAL FEATURES

- INDOOR AIR QUALITY, BALANCED FAN
- IAQ VENTILATION SYSTEM: SUPPLY OUTSIDE AIR INLET, FILTER, AND H/ERV CORES ACCESSIBLE PER RACM REFERENCE MANUAL
- IAQ VENTILATION SYSTEM: FAULT INDICATOR DISPLAY
- COOL ROOF
- FLOOR HAS HIGH LEVEL OF INSULATION
- INSULATION BELOW ROOF DECK
- NORTHWEST ENERGY EFFICIENCY ALLIANCE (NEEA) RATED HEAT PUMP WATER HEATER; SPECIFIC BRAND/MODEL, OR EQUIVALENT, MUST BE INSTALLED
- ONE OR MORE HEAT PUMP WATER HEATERS HAVE BEEN MODELED AS DEMAND RESPONSE COMPATIBLE

HERS VERIFICATION SUMMARY

- BUILDING-LEVEL VERIFICATIONS:**
- QUALITY INSULATION INSTALLATION (OI)
 - INDOOR AIR QUALITY VENTILATION
 - KITCHEN RANGE HOOD
- COOLING SYSTEM VERIFICATIONS:**
- MINIMUM AIRFLOW
 - VERIFIED REFRIGERANT CHARGE
 - FAN EFFICACY WATTS/CFM
- HEATING SYSTEM VERIFICATION:**
- VERIFIED HEAT PUMP RATED HEATING CAPACITY
- HVAC DISTRIBUTION SYSTEM VERIFICATIONS:**
- DUCT LEAKAGE TESTING
- DOMESTIC HOT WATER SYSTEM VERIFICATIONS:**
- PIPE INSULATION, ALL LINES.

APARTMENT #1

DOOR SCHEDULE "APART 1"				
MARK	WIDTH	HEIGHT	TYPE DESCRIPTION	COMMENTS
D101	3'-0"	6'-8"	SOLID CORE 1 3/4" THICK	FRONT DOOR SWING
D102	2'-6"	6'-8"	HOLLOW CORE	SWING
D103	3'-0"	6'-8"	HOLLOW CORE	SWING
D104	3'-0"	6'-8"	SOLID CORE 1 3/8" THICK	FIRE RATED SELF-CLOSING DEVICE
D105	16'-0"	7'-0"	PRE-FAB GARAGE DOOR	DOUBLE CAR
D106	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D107	2'-6"	6'-8"	HOLLOW CORE	SWING
D108	2'-10"	6'-8"	HOLLOW CORE	SWING
D109	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D110	2'-6"	6'-8"	HOLLOW CORE	SWING
D111	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D112	2'-4"	6'-8"	HOLLOW CORE	SWING
D113	2'-6"	6'-8"	HOLLOW CORE	SWING
D114	2'-6"	6'-8"	HOLLOW CORE	SWING
D115	6'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D116	2'-4"	6'-8"	HOLLOW CORE	SWING
D117	5'-0"	6'-8"	VINYL SLIDING DOOR	TEMPERED GLASS
D118	2'-8"	6'-8"	SOLID CORE 1 3/4" THICK	SWING

NOTE: GLASS DOOR SHOULD HAVE TEMPERED GLASS W/ A U-FACTOR= 0.30 & SHGC= 0.20

WINDOW SCHEDULE APART. #1				
MARK	WIDTH	HEIGHT	TYPE	REMARKS
W101	8'-0"	5'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS
W102	5'-0"	4'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS
W103	5'-0"	4'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS
W104	5'-0"	4'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS
W105	5'-0"	3'-0"	VINYL FIXED WINDOW	DUAL GLAZED GLASS

NOTE: WINDOWS SHALL HAVE A U-FACTOR=0.30 AND SHGC=0.20

APARTMENT #2

DOOR SCHEDULE "APART 2"				
MARK	WIDTH	HEIGHT	TYPE DESCRIPTION	COMMENTS
D201	3'-0"	6'-8"	SOLID CORE 1 3/4" THICK	FRONT DOOR SWING
D202	2'-6"	6'-8"	HOLLOW CORE	SWING
D203	3'-0"	6'-8"	HOLLOW CORE	SWING
D204	3'-0"	6'-8"	SOLID CORE 1 3/8" THICK	FIRE RATED SELF-CLOSING DEVICE
D205	16'-0"	7'-0"	PRE-FAB GARAGE DOOR	DOUBLE CAR
D206	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D207	2'-6"	6'-8"	HOLLOW CORE	SWING
D208	2'-10"	6'-8"	HOLLOW CORE	SWING
D209	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D210	2'-6"	6'-8"	HOLLOW CORE	SWING
D211	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D212	2'-4"	6'-8"	HOLLOW CORE	SWING
D213	2'-6"	6'-8"	HOLLOW CORE	SWING
D214	2'-6"	6'-8"	HOLLOW CORE	SWING
D215	6'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D216	2'-4"	6'-8"	HOLLOW CORE	SWING
D217	5'-0"	6'-8"	VINYL SLIDING DOOR	TEMPERED GLASS
D218	2'-8"	6'-8"	SOLID CORE 1 3/4" THICK	SWING

NOTE: GLASS DOOR SHOULD HAVE TEMPERED GLASS W/ A U-FACTOR= 0.30 & SHGC= 0.20

WINDOW SCHEDULE APART. #2				
MARK	WIDTH	HEIGHT	TYPE	REMARKS
W201	8'-0"	5'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS
W202	5'-0"	4'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS
W203	5'-0"	4'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS
W204	5'-0"	4'-0"	VINYL SLIDING WINDOW	DUAL GLAZED GLASS

NOTE: WINDOWS SHALL HAVE A U-FACTOR=0.30 AND SHGC=0.20

APARTMENT #3

DOOR SCHEDULE "APART 3"				
MARK	WIDTH	HEIGHT	TYPE DESCRIPTION	COMMENTS
D301	3'-0"	6'-8"	SOLID CORE 1 3/4" THICK	FRONT DOOR SWING
D302	2'-6"	6'-8"	HOLLOW CORE	SWING
D303	3'-0"	6'-8"	HOLLOW CORE	SWING
D304	3'-0"	6'-8"	SOLID CORE 1 3/8" THICK	FIRE RATED SELF-CLOSING DEVICE
D305	16'-0"	7'-0"	PRE-FAB GARAGE DOOR	DOUBLE CAR
D306	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D307	2'-6"	6'-8"	HOLLOW CORE	SWING
D308	2'-10"	6'-8"	HOLLOW CORE	SWING
D309	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D310	2'-6"	6'-8"	HOLLOW CORE	SWING
D311	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D312	2'-4"	6'-8"	HOLLOW CORE	SWING
D313	2'-6"	6'-8"	HOLLOW CORE	SWING
D314	2'-6"	6'-8"	HOLLOW CORE	SWING
D315	6'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR
D316	2'-4"	6'-8"	HOLLOW CORE	SWING
D317	5'-0"	6'-8"	VINYL SLIDING DOOR	TEMPERED GLASS
D318	2'-8"	6'-8"	SOLID CORE 1 3/4" THICK	SWING

NOTE: GLASS DOOR SHOULD HAVE TEMPERED GLASS W/ A U-FACTOR= 0.30 & SHGC= 0.20

WINDOW SCHEDULE APART. #3				
MARK	WIDTH	HEIGHT	TYPE	REMARKS
W301	8'-0"	5'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass
W302	5'-0"	4'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass
W303	5'-0"	4'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass
W304	5'-0"	4'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass

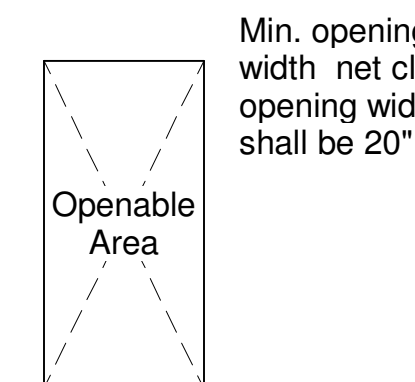
NOTE: WINDOWS SHALL HAVE A U-FACTOR=0.30 AND SHGC=0.20

FLOOR PLAN NOTES

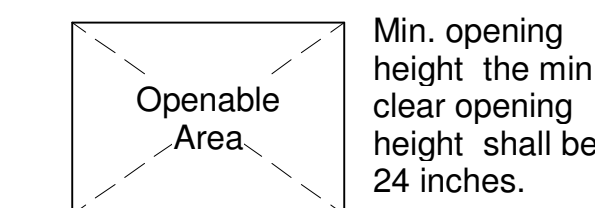
1. All exterior doors shall be weather stripped.
2. Wall insulation shall be R-21, Floor No Crawlspace R-31 and Roof insulation shall be R-30
3. Attic: Roof R-13 per T-24. See page 15-25 Sheet EN2
4. All windows should be dual glazed. U-Factor=0.30 and SHGC=0.20 (U.N.O.)
5. There shall be a landing or floor on each side of each exterior door. Exterior landings shall have a minimum dimension of 36" measured in the direction of travel, shall not be less in width than the door served, and shall be permitted to have a slope not to exceed 1/4" per foot (2%). (CRC Section R311.3)
6. Door other than the required egress door shall be provided with landing or floors not more than 7 3/4" below the top of the threshold. A top landing is not required where a stairway of not more than two risers is located on the exterior side of the door, provided that the door does not swing over the stairway [CRC R318.3].
7. Wall finished on shower and whirlpool to be tiled 72" min. high above drain inlet. Enclosure to be shatterproof and swinging door to swing out.
8. Proposed showers shall have tempered glass doors (doors shall swing out). Shower shall be tiled at 72" high above drain inlet. Cement, fiber-cement, fiber-mat reinforced cement, glass mat gypsum or fiber-reinforced gypsum backers shall be used as a base for wall tile in tub and shower areas and wall and ceiling panels in shower areas. CRC R702-4.2.
9. Provide tempered glazing in enclosure for walls of bathtubs within 60" above the tub floor or less than 60" horizontally in a straight line from the tub and Very High Hazard Zone requirements.
10. Water closet shall be ultra low flush type with 1.28 gal. maximum per flush. Urinals shall not exceed 0.125 gal per flush. Showerheads shall have a maximum flow rate of 1.8 gal per minute at 80 psi. Lavatory faucets shall not exceed 1.2 gal per minute at 60 psi. Kitchen faucets shall not exceed 1.8 gal per minute at 60 psi and may temporarily increase the flow above the maximum rate, but not exceed 2.2 gallons per minute and must default to a maximum flow rate of 1.8 gallons per minute.
11. Proposed water closet shall be set no closer than 15" from its center to any side wall or obstruction or no closer than 30" center to center to any similar fixture and the clear space in front of a water closet, lavatory, or a bidet shall be at least 24" Per CPC 402.5.
12. Control valve for shower and tub-shower combinations in building shall be provided with individual control valve of the pressure balance or thermostatic mixing valve type.
13. Provide a min. opening of 100 sq.in. from laundry to habitable space on the door, wall or bi-fold doors with louvers for make up air. The louvers shall be located 12" from top and 12" from bottom.
14. Provide clothes dryer moisture exhaust duct (min 4 dia.) to the outside and equipment with a back draft damper with (2) 90° elbows (clean out required). Exhaust duct shall not exceed a total combined horizontal and vertical length of 14'.
15. Attic access doors shall have permanently attached insulation using adhesive or mechanical fasteners. The attic access shall be gasketed to prevent air leakage Code150.0 (a) 2.
16. Habitable rooms shall be provide with natural light by means of exterior glazing with an area not less than 8% of the floor area of such rooms.
17. Minimum operable window area of habitable rooms must be 4% of the floor area for natural ventilation.
18. Bathrooms, water closet compartments and other similar rooms shall be provided with minimum glazing area of 3sf, one-half of which is operable. The glazed areas are not required where artificial light and a mechanical ventilation of 50 CFM intermittent or 20 CFM continuous ventilation area provided.
19. Net area of shower compartments shall be not less than 1,024 sq. in. of floor area, and encompass 30 inches diameter circle.
20. Provide water hammer arrestors for quick-acting valves such as dishwasher washer, refrigerator waterlines and cloth washer.
21. Every dwelling unit shall be provided with heating facilities capable of maintaining a minimum room temperature of 68 degrees at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms.
22. The minimum width of a hallway shall be not less than 3 ft. [CRC R318.6]
23. The minimum of 1" of space shall be provided between the insulation and the roof sheathing and at the location of attic air vents [CRC R 806.3].
24. Openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8" in thickness, solid or honey-comb-core steel doors not less 1 3/8" or 20 minute fire-rated doors. Doors shall be self-closing or automatic-closing and self-latching.
25. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall not have openings into the garage.
26. Glazing in hazardous locations, as specified in section R308.4 of the CRC, shall be tempered resistant.
27. Garage floor shall be of noncombustible material. The area of the floor used for the parking of vehicles shall be sloped to drain toward the main vehicle entry door. [CRC R308.1]
28. Automatic Garage Door openers, is provided, shall be listed and labeled in accordance with UL325 [CRC R317.4]
29. Appliances installed in garages shall be guarded against damage by being installed behind protective barriers or by being elevated or located out of the normal path of vehicles. [CMC 305.1.1]

WINDOW MIN. OPENABLE EGRESS

All emergency escape and rescue openings shall have a min. net clear opening of 5.7 S.F. Per CRC Sec. R310.1 & R310.2.



MIN. SIZE WINDOW FOR 20" CLEAR WIDTH

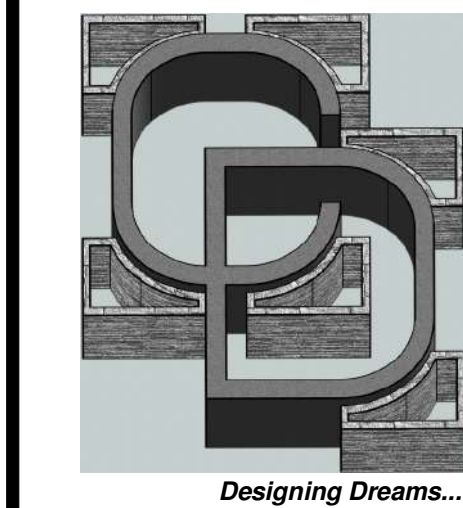


MIN. SIZE WINDOW FOR 24" CLEAR HEIGHT

A window or other opening located such that the sill height of the opening is not more than 44" above or below the finished ground level adjacent to the opening.

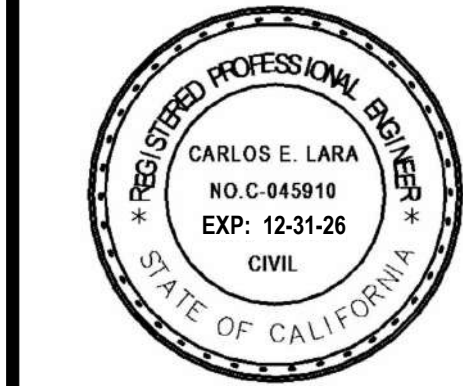
FLOOR LEVEL

PRINCIPAL DESIGNER:



Carrillo Design & Assoc. Inc.
1881 Cornercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE DIRECTION OF:
CARLOS E. LARA, P.E.
R.C.E.# 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
(909) 471-6174

REVISIONS	BY	DATE
REV. #	DATE	DATE

PROJECT TITLE
APARTMENT COMPLEX

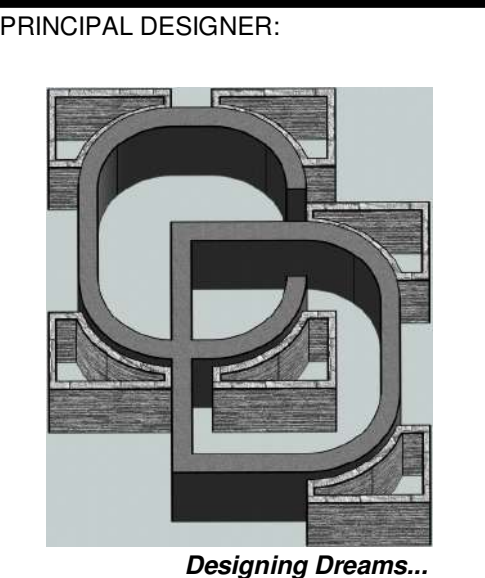
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**15380 WANAQUE RD
APPLE VALLEY, CA 92307**

SHEET TITLE

FLOOR PLAN NOTES & SCHEDULES

DATE: 5/28/2026 3:39:10 PM
DRAWN: AA
SCALE: 1/2" = 1'-0"
JOB NO.: 42-23

A200



PRINCIPAL DESIGNER:
 Carrillo Design & Assoc. Inc.
 1881 Commercenter Dr E
 Suite 206
 San Bernardino, CA 92408
 P: (909) 571-5771
 E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE
 DIRECTION OF
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 R.C.E. # 045910 EXP: 12/31/26



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RAUL REYES
 (909) 471-6174

REV. #	DATE	BY	FO
1	02/27/26		

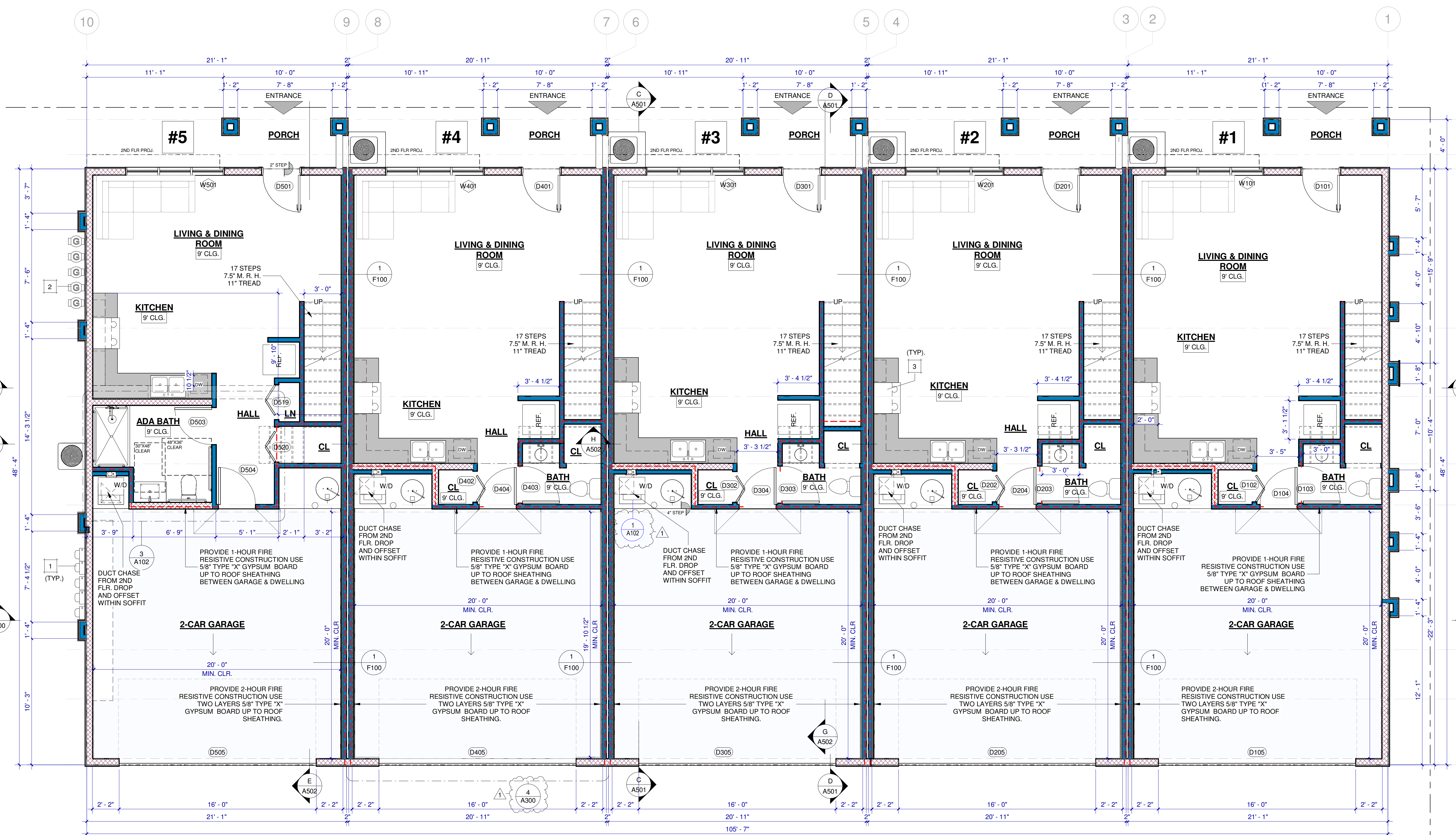
PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
 15380 WANAUKE RD
 APPLE VALLEY, CA 92307

SHEET TITLE
1ST FLOOR GENERAL PLAN

DATE: 5/28/2026 3:39:11 PM
 DRAWN: AA
 SCALE: As indicated
 JOB NO.: 42-23

A201



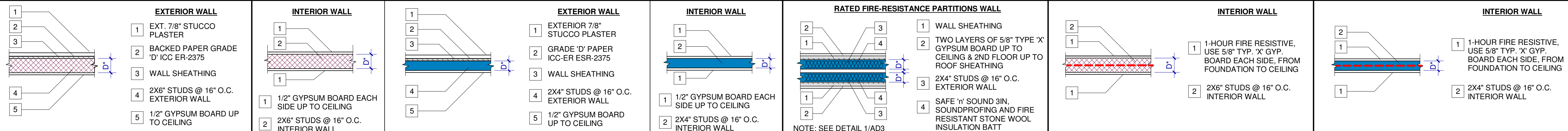
NOTE :
 • SEE SHT A200 FOR FLR NOTES & SCHEDULES.
 • SEE SHT A202 FOR 2ND FLR GENERAL PLAN.
 • SEE SHT A203 FOR ENLARGEMENT FLR PLANS.
 M. R. M. : (MAXIMUM RISE HEIGHT)

KEYNOTES

1	PROVIDE 200 AMP ELECTRICAL METER FOR EACH UNIT
2	PROPOSED GAS METER, VERIFY W/ THE GAS COMPANY FOR FINAL APPROVED LOCATION
3	PROPOSED RANGE W/ HOOD ABOVE W/ 250 CFM MIN. USE LG OVER THE RANGE MICROWAVE OVEN, MODEL: LMV1764ST OR SIM. SEE SPECS #3 ON SHT GN-2

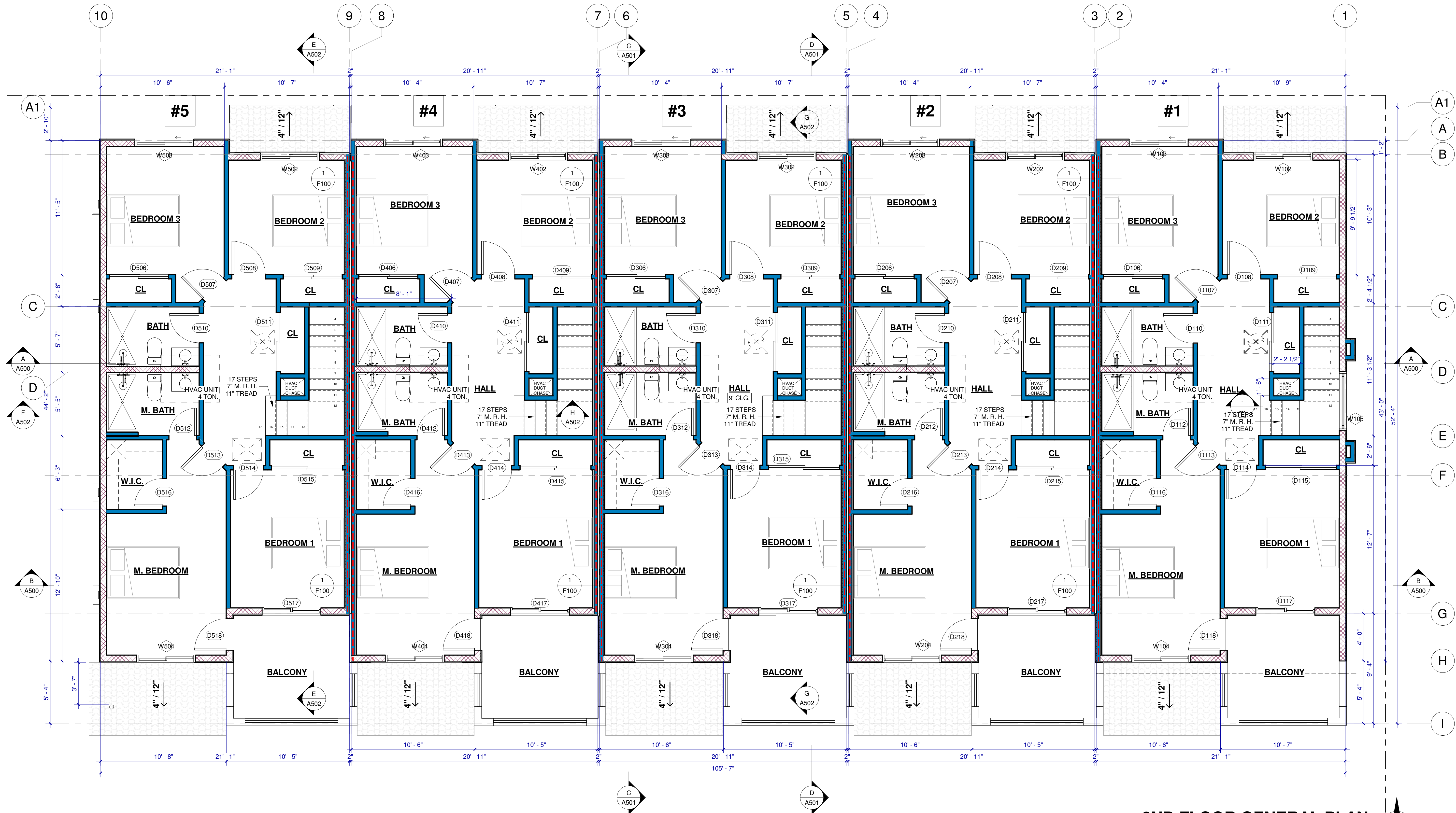
1 1ST FLOOR GENERAL PLAN
 1/4" = 1'-0"

WALL LEGEND



NOTE :
 ALL DOORS, WINDOWS AND SPECIAL EQUIPMENT REPRESENTED IN DEPARTMENT ONE BY KEYNOTES WILL BE TYPICAL ITEMS IN ALL FIVE DEPARTMENTS

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. THESE DRAWINGS AND CONDITIONS SHOWN IN THESE DRAWINGS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.



1 2ND FLOOR GENERAL PLAN
1/4" = 1'-0"

NOTE :

- SEE SHT A200 FOR FLR NOTES & SCHEDULES.
- SEE SHT A201 FOR 1ST FLR GENERAL PLAN.
- SEE SHT A203 FOR ENLARGEMENT FLR PLANS.

M. R. M. : (MAXIMUM RISE HEIGHT)

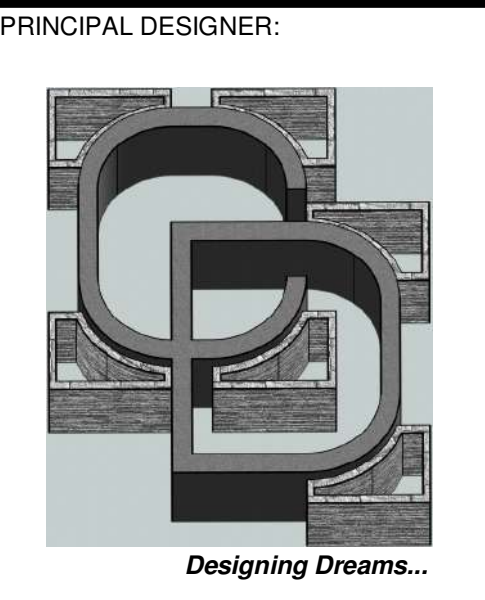
WALL LEGEND

<ol style="list-style-type: none"> EXT. 7/8" STUCCO PLASTER BACKED PAPER GRADE 'D' ICC ER-2375 WALL SHEATHING 2X6" STUDS @ 16" O.C. EXTERIOR WALL 1/2" GYPSUM BOARD UP TO CEILING 	<ol style="list-style-type: none"> 1/2" GYPSUM BOARD EACH SIDE UP TO CEILING 2X4" STUDS @ 16" O.C. INTERIOR WALL 	<ol style="list-style-type: none"> EXTERIOR 7/8" STUCCO PLASTER GRADE 'D' PAPER ICC-ER ESR-2375 WALL SHEATHING 2X4" STUDS @ 16" O.C. EXTERIOR WALL 1/2" GYPSUM BOARD UP TO CEILING 	<ol style="list-style-type: none"> 1/2" GYPSUM BOARD EACH SIDE UP TO CEILING 2X4" STUDS @ 16" O.C. INTERIOR WALL 	<ol style="list-style-type: none"> WALL SHEATHING TWO LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD UP TO CEILING & 2ND FLOOR UP TO ROOF SHEATHING 2X4" STUDS @ 16" O.C. EXTERIOR WALL SAFE '1' SOUND 3IN. SOUNDPROOFING AND FIRE RESISTANT STONE WOOL INSULATION BATT <p>NOTE: SEE DETAIL 1/A03</p>	<ol style="list-style-type: none"> 1-HOUR FIRE RESISTIVE, USE 5/8" TYP. 'X' GYP. BOARD EACH SIDE, FROM FOUNDATION TO CEILING 2X6" STUDS @ 16" O.C. INTERIOR WALL 	<ol style="list-style-type: none"> 1-HOUR FIRE RESISTIVE, USE 5/8" TYP. 'X' GYP. BOARD EACH SIDE, FROM FOUNDATION TO CEILING 2X4" STUDS @ 16" O.C. INTERIOR WALL
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NOTE :

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Carrillo Design & Assoc. Inc.
1881 Commercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE DIRECTION OF:
CARLOS E. LARA, P.E.
R.C.E.# 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
(909) 471-6174

REVISIONS	DATE	BY
REV. #		

PROJECT TITLE
APARTMENT COMPLEX

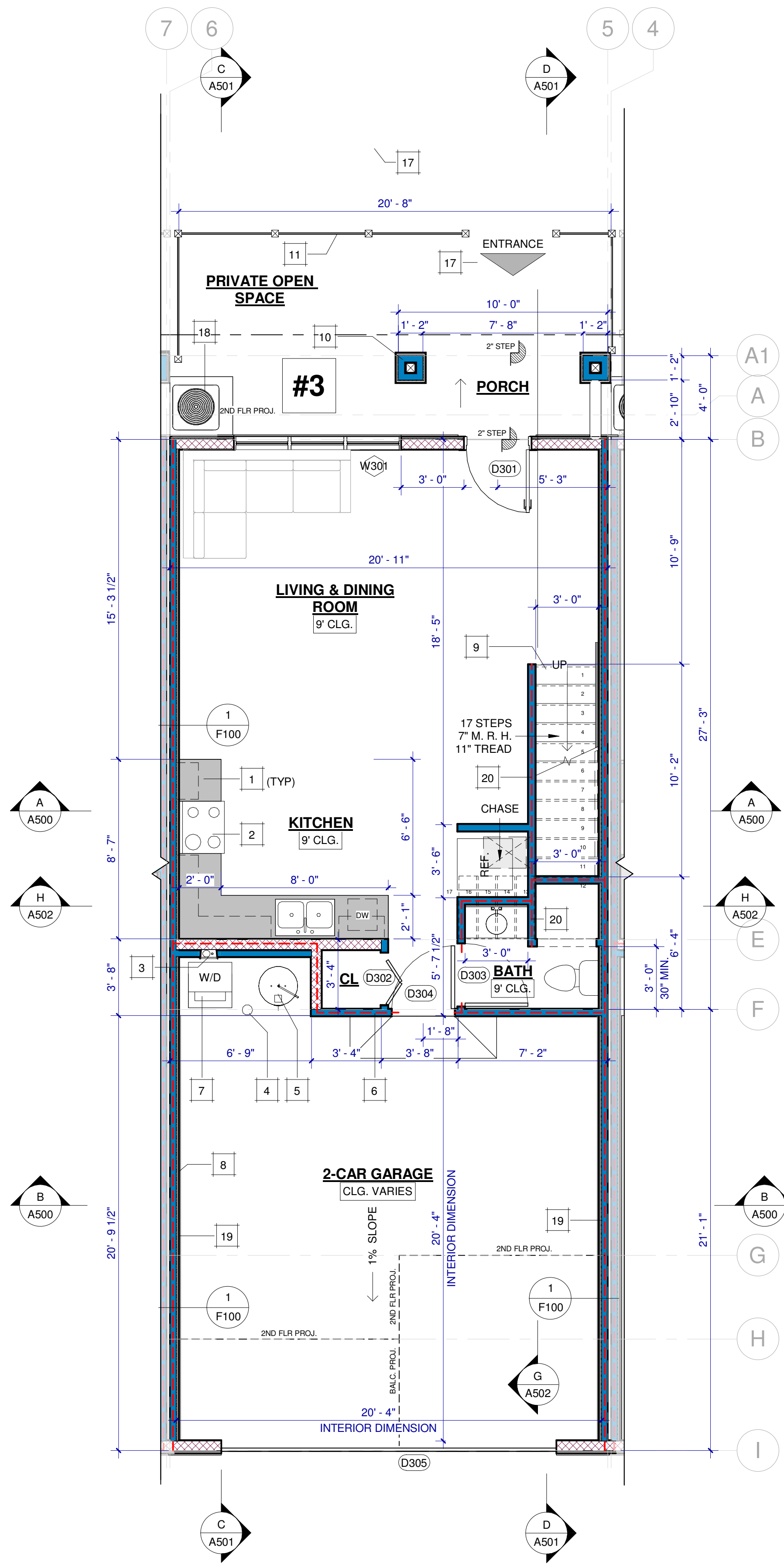
PROJECT LOCATION
15380 WANAUKE RD
APPLE VALLEY, CA 92307

SHEET TITLE
2ND FLOOR GENERAL PLAN

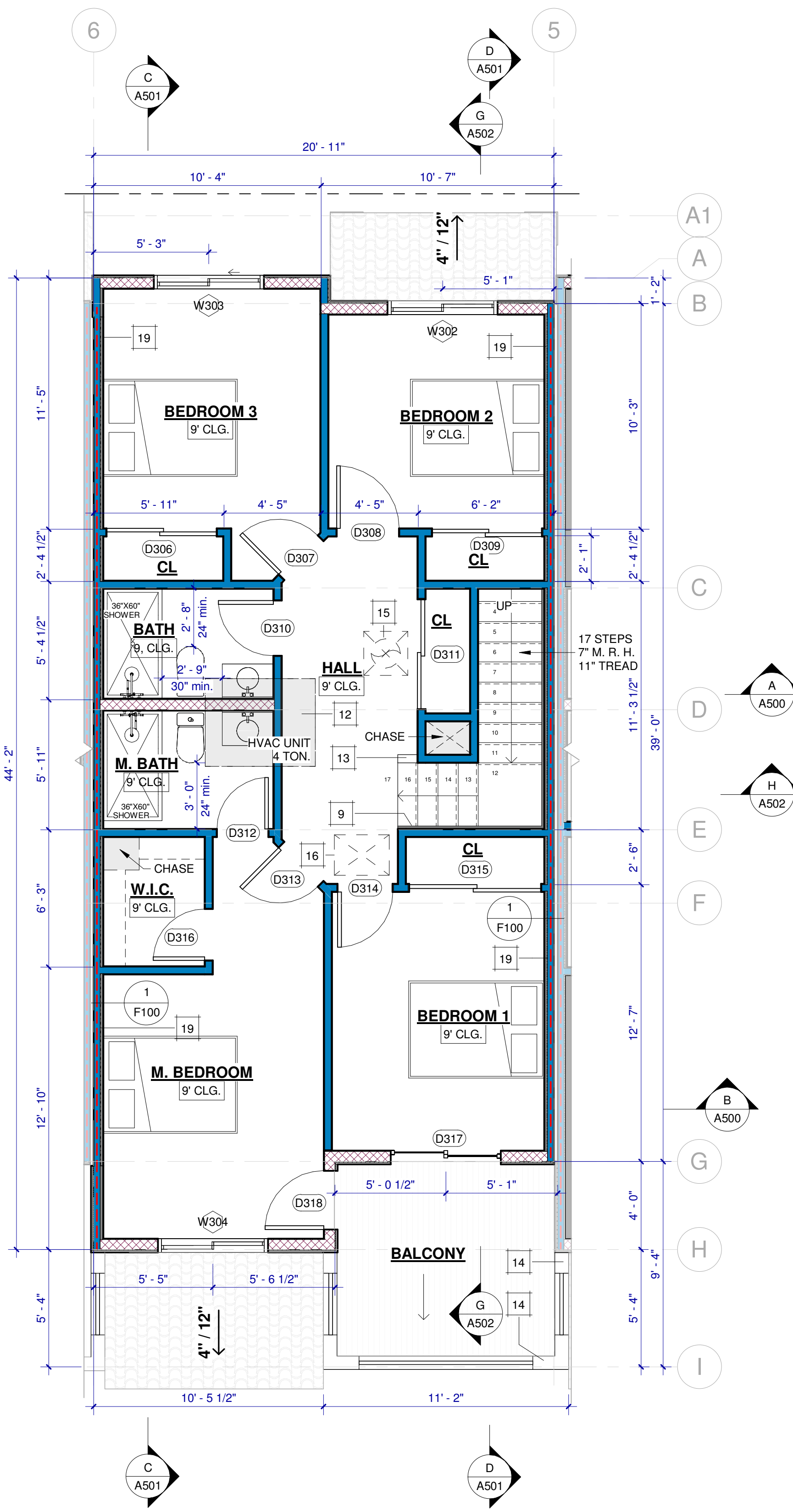
DATE: 5/28/2026 3:39:12 PM
DRAWN: AA
SCALE: As indicated
JOB NO.: 42-23

A202

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.



1 1ST FLR PLAN ENLARGEMENT
1/4" = 1'-0"



2 2ND FLR PLAN ENLARGEMENT
1/4" = 1'-0"

NOTES:
 • SEE SHEET A200 FOR FLR. PLAN NOTES, WINDOW AND DOOR SCHEDULES
 • SEE SHEETS A201 & A202 FOR 1ST & 2ND GENERAL PLANS.

WALL LEGEND	
 EXTERIOR WALL 1 EXT. 7/8" STUCCO PLASTER 2 BACKED PAPER GRADE 'D' ICC ESR-2375 3 WALL SHEATHING 4 2X6" STUDS @ 16" O.C. EXTERIOR WALL 5 1/2" GYPSUM BOARD UP TO CEILING	 INTERIOR WALL 1 1/2" GYPSUM BOARD EACH SIDE UP TO CEILING 2 2X6" STUDS @ 16" O.C. INTERIOR WALL
 EXTERIOR WALL 1 EXTERIOR 7/8" STUCCO PLASTER 2 GRADE 'D' PAPER ICC-ESR-2375 3 WALL SHEATHING 4 2X4" STUDS @ 16" O.C. EXTERIOR WALL 5 1/2" GYPSUM BOARD UP TO CEILING	 INTERIOR WALL 1 1/2" GYPSUM BOARD EACH SIDE UP TO CEILING 2 2X4" STUDS @ 16" O.C. INTERIOR WALL
 INTERIOR WALL 1 1-HOUR FIRE RESISTIVE, USE 5/8" TYP. 'X' GYP. BOARD EACH SIDE, FROM FOUNDATION TO CEILING 2 2X6" STUDS @ 16" O.C. INTERIOR WALL	 INTERIOR WALL 1 1-HOUR FIRE RESISTIVE, USE 5/8" TYP. 'X' GYP. BOARD EACH SIDE, FROM FOUNDATION TO CEILING 2 2X4" STUDS @ 16" O.C. INTERIOR WALL
 EXTERIOR PONY WALL 1 EXTERIOR 7/8" STUCCO PLASTER 2 2X6" STUDS @ 16" O.C. INTERIOR WALL	 RATED FIRE-RESISTANCE PARTITIONS WALL 1 WALL SHEATHING 2 TWO LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD UP TO CEILING & 2ND FLOOR UP TO ROOF SHEATHING 3 2X4" STUDS @ 16" O.C. EXTERIOR WALL 4 SAFE 'W' SOUND 3IN. SOUNDPROOFING AND FIRE RESISTANT STONE WOOL INSULATION BATT

D* = DIMENSIONS ARE TAKEN FRAMING MEMBER. DIMENSIONS DO NOT INCLUDE WALL FINISHES.

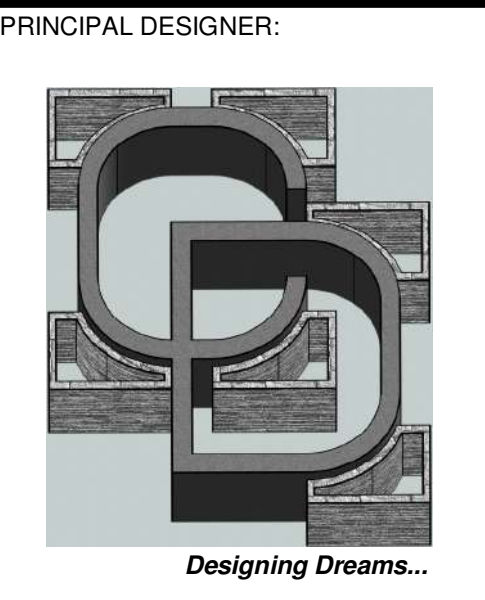
DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	TYPE DESCRIPTION	COMMENTS	
D301	3'-0"	6'-8"	SOLID CORE 1 3/4" THICK	FRONT DOOR SWING	
D302	2'-6"	6'-8"	HOLLOW CORE	SWING	
D303	3'-0"	6'-8"	HOLLOW CORE	SWING	
D304	3'-0"	6'-8"	SOLID CORE 1 3/8" THICK	FIRE RATED SELF-CLOSING DEVICE	
D305	16'-0"	7'-0"	PRE-FAB GARAGE DOOR	DOUBLE CAR	
D306	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR	
D307	2'-6"	6'-8"	HOLLOW CORE	SWING	
D308	2'-10"	6'-8"	HOLLOW CORE	SWING	
D309	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR	
D310	2'-6"	6'-8"	HOLLOW CORE	SWING	
D311	5'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR	
D312	2'-4"	6'-8"	HOLLOW CORE	SWING	
D313	2'-6"	6'-8"	HOLLOW CORE	SWING	
D314	2'-6"	6'-8"	HOLLOW CORE	SWING	
D315	6'-0"	6'-8"	HOLLOW CORE	SLIDING CLOSET DOOR	
D316	2'-4"	6'-8"	HOLLOW CORE	SWING	
D317	5'-0"	6'-8"	VINYL SLIDING DOOR	TEMPERED GLASS	
D318	2'-8"	6'-8"	SOLID CORE 1 3/4" THICK	SWING	

NOTE: GLASS DOOR SHOULD HAVE TEMPERED GLASS W/ A U-FACTOR= 0.30 & SHGC= 0.20

WINDOW SCHEDULE				
MARK	WIDTH	HEIGHT	TYPE	REMARKS
W303	5'-0"	4'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass
W304	5'-0"	4'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass
W302	5'-0"	4'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass
W301	8'-0"	5'-0"	VINYL SLIDING WINDOW	Dual Grazed Glass

NOTE: WINDOWS SHALL HAVE A U-FACTOR=0.30 AND SHGC=0.20

KEYNOTES	
1	UPPER CABINETS
2	PROPOSED RANGE W/ HOOD ABOVE W/ 250 CFM MIN. USE LG OVER THE RANGE MICROWAVE OVEN, MODEL: LMV1764ST OR SIM. SEE SPECS #3 ON SHT GN-2
3	PROPOSED CLOTHES DRYER EXHAUST DUCT (4" DIA. MIN.) TO THE EXTERIOR, USE DRYERBOX EXHAUST OR SIMILAR. SEE SHT GN-1 FOR SPECS #4 & SEE FLOOR PLAN NOTE #13 ON SHT A200
4	PROPOSED PROTECTION BOLLARD
5	PROPOSED 40 GAL. HYBRID ELECTRIC WATER HEATER, RHEEM MANUF. MODEL XE50T10H45U0 OR SIM. SEE SPECS ON SHT GN-2
6	PROVIDE 1-HOUR FIRE RESISTIVE CONSTRUCTION, USE EACH SIDE 5/8" TYPE 'X' GYP. BOARD BETWEEN GARAGE & DWELLING
7	STACKABLE WASHER & DRYER. SEE SPEC #6 SHEET GN-1
8	CONCRETE GARAGE CURB
9	PROPOSED GUARDRAIL 42" HIGH
10	ARCHITECTURAL COLUMN
11	6'H RED WOOD FENCE
12	PROPOSED 4-TON HEAT PUMP SPLIT SYSTEM HEATING UNIT. SEE DETAIL 1/AD1 & SEE SPECS #1&2 ON SHT GN-1
13	PROPOSED 2X4 STUDS @ 16" O.C. LOW WALL, 42" HIGH
14	PROPOSED BALCONY WALL 42" HIGH
15	WHOLE HOUSE FAN
16	PROPOSED 22"x30" ATTIC ACCESS. SEE DETAIL 1/AD1
17	PROPOSED CONCRETE WALKWAY
18	PROPOSED CONDENSER UNIT OVER CONCRETE PAD
19	PROVIDE 2-HOUR FIRE RESISTIVE CONSTRUCTION, USE TWO LAYERS 5/8" TYPE 'X' GYP. BOARD BETWEEN DWELLINGS
20	PROVIDE 1-HOUR FIRE RESISTIVE CONSTRUCTION, USE EACH SIDE 5/8" TYPE 'X' GYP. BOARD UNDER STAIRS



Carrillo Design & Assoc. Inc.
 1881 Commercenter Dr E
 Suite 206
 San Bernardino, CA 92408
 P: (909) 571-5771
 E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE DIRECTION OF:
 CARLOS E. LARA, P.E.
 R.C.E. # 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
 (909) 471-6174

REV. #	DATE	BY

PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
 15380 WANAUKE RD
 APPLE VALLEY, CA 92307

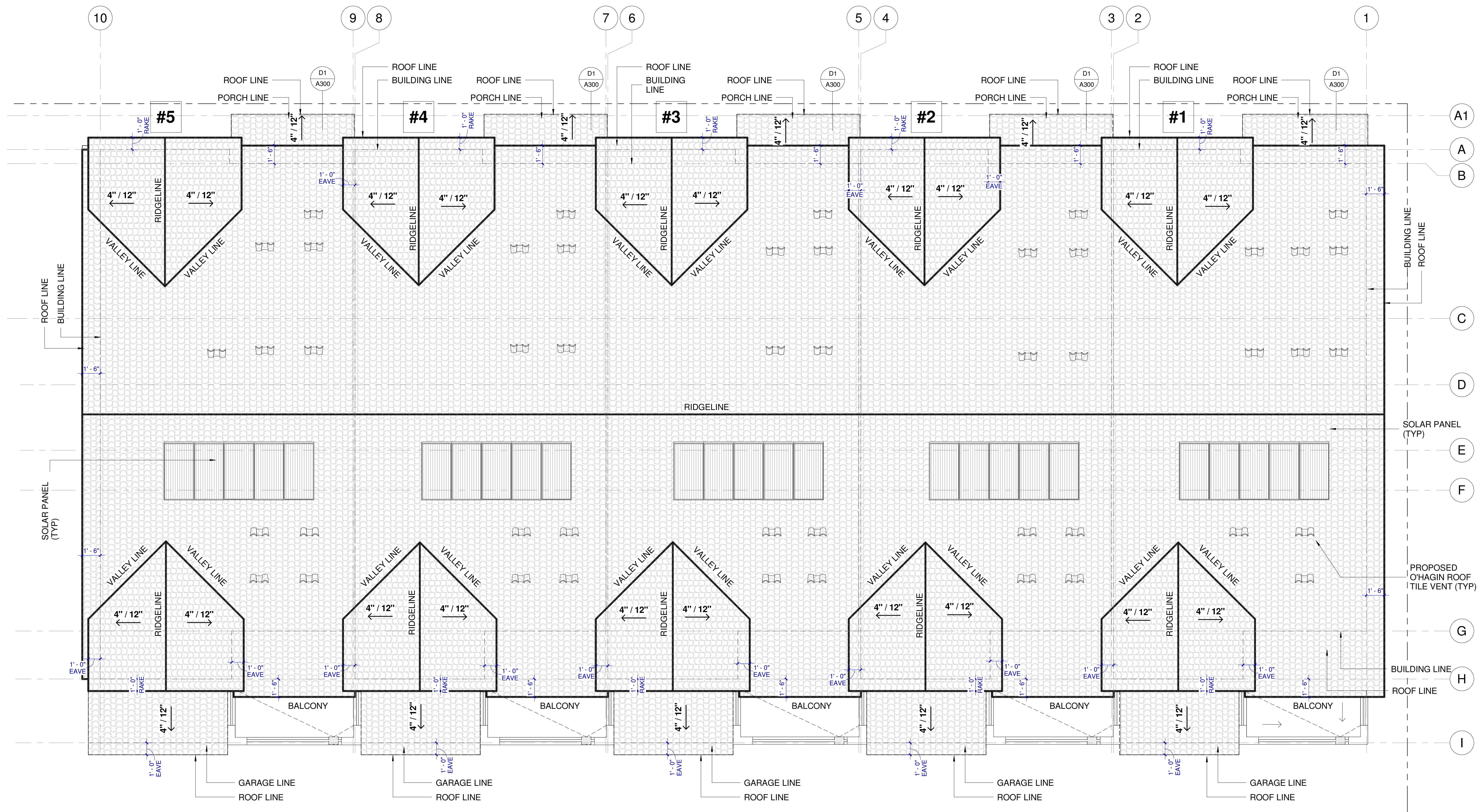
SHEET TITLE
FLOOR PLAN ENLARGEMENT

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 SCALE: As indicated
 JOB NO.: 42-23

A203

PINKY'S APARTMENTS

NEW APARTMENT COMPLEX (5-UNITS)



1 ROOF PLAN
1/4" = 1'-0"

ENERGY REPORT REQUIREMENT:
 1. RADIANT BARRIER = NO
 2. COOL ROOF = YES

ROOF MATERIAL INFORMATION OR SIMILAR:

ROOF TYPE:	TILE ROOF
SOLAR REFLECTANCE:	0.27
THERMAL EMITTANCE:	0.75

PRINCIPAL DESIGNER:

Designing Dreams...

Carrillo Design & Assoc. Inc.
 1881 Commercenter Dr E
 Suite 206
 San Bernardino, CA 92408
 P: (909) 571-5771
 E: carriliodesigninc@gmail.com

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CONTACT INFORMATION

RAUL REYES
 (909) 471-6174

REVISIONS	DATE	BY
REV. #	<<<	<<<

PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
 15380 WANAUKE RD
 APPLE VALLEY, CA 92307

SHEET TITLE
ROOF PLAN

DATE: 5/28/2026 3:39:18 PM
 DRAWN: AA
 SCALE: 1/4" = 1'-0"
 JOB NO.: 42-23

A301

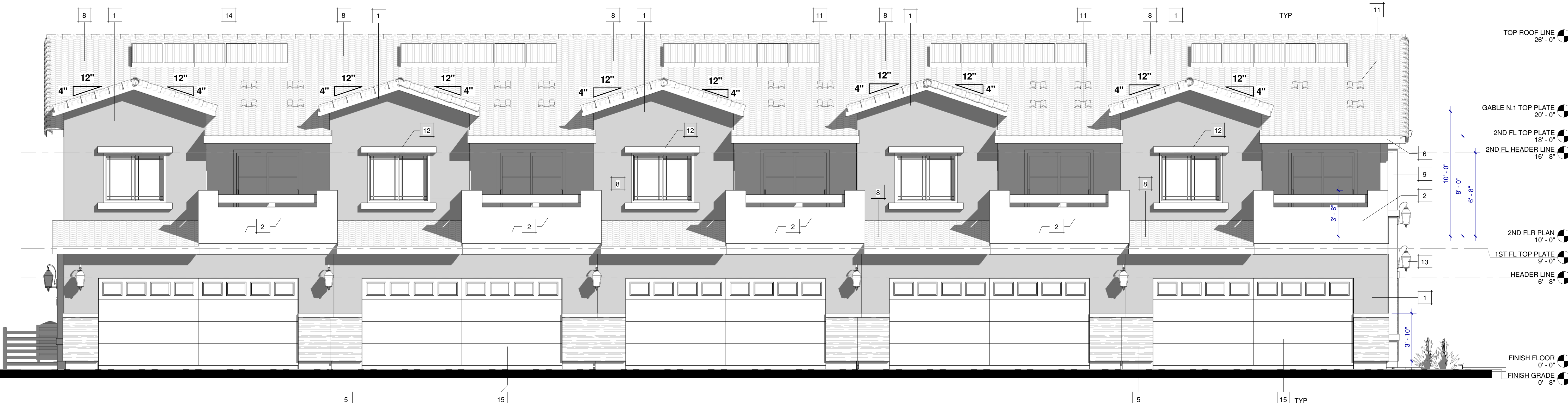
NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.

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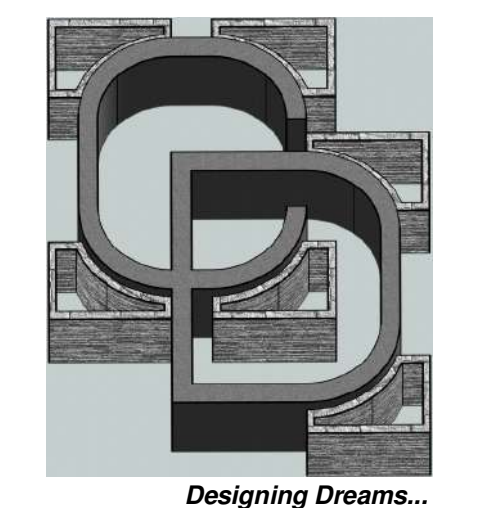
1 NORTH - ELEVATION
1/4" = 1'-0"

KEYNOTES	
1	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PAREX USA COLOR COLLECTION, AGAVE 3041D (17) COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
2	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS, EGG SHELL 73 (76) BASE 100 COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
3	ARCHITECTURAL COLUMN
4	DECORATIVE STUCCO TRIM
5	EXTERIOR CORONADO STONE ARTISAN LEDGE-CATHEDRAL GREY STONE VENEER FINISH, ICC-ES ESR-2598. SEE PLASTER NOTES ON SHT AD2
6	FASCIA AROUND ROOF, PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B EXTERIOR PAINT
7	APARTMENT ADDRESS NUMBER THAT ARE MINIMUM OF FOUR (4) INCHES IN HEIGHT AND WITH A ONE HALF (1/2")
8	EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A' OVER 2-LAYER OF 30 FELT UNDERLAYMENT, UES ER-1900 UPDATED TO 2018 IRC/IBC
9	ARCHITECTURAL PILASTER
10	6X6 WOOD POST, EXPOSED WOOD W/ WOOD STAIN & SEALER AUTOMN BROWN COLOR
11	OHAGIN VENTS
12	DECORATIVE TRIMS, PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B EXTERIOR PAINT
13	OUTDOOR WALL MOUNTED LIGHT FIXTURE SEE SHT A-103 FOR SPEC #1
14	SOLAR PANEL (TYP). PER SEPARATE PERMIT
15	PROPOSED GARAGE DOOR WITH INSULATED CLEAR GLASS WINDOWS, PREMIUM L200 COLONIAL, WALNUT COLOR.



2 SOUTH - ELEVATION
1/4" = 1'-0"

PRINCIPAL DESIGNER:



Carrillo Design & Assoc. Inc.
1881 Comcenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
E: carrilلودesigninc@gmail.com

PLANS PREPARED UNDER THE DIRECTION OF:
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R.C.E. # 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
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REVISIONS	DATE	BY
REV. #	<<<	<<<

PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
**15380 WANAUKE RD
APPLE VALLEY, CA 92307**

SHEET TITLE
ELEVATIONS PLAN

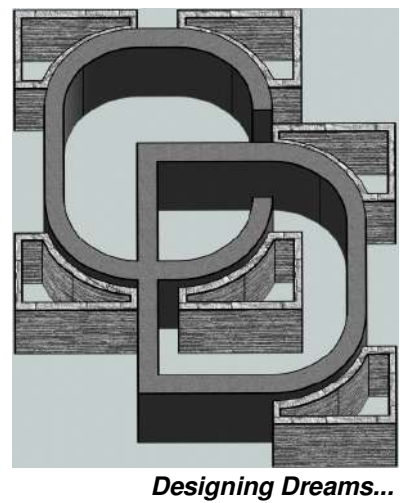
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JOB NO.: 42-23

A400

PINKY'S APARTMENTS

NEW APARTMENT COMPLEX (5-UNITS)

PRINCIPAL DESIGNER:



Carrillo Design & Assoc. Inc.
1881 Commercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
E: carrillogdesigninc@gmail.com

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REV. #	DATE	BY

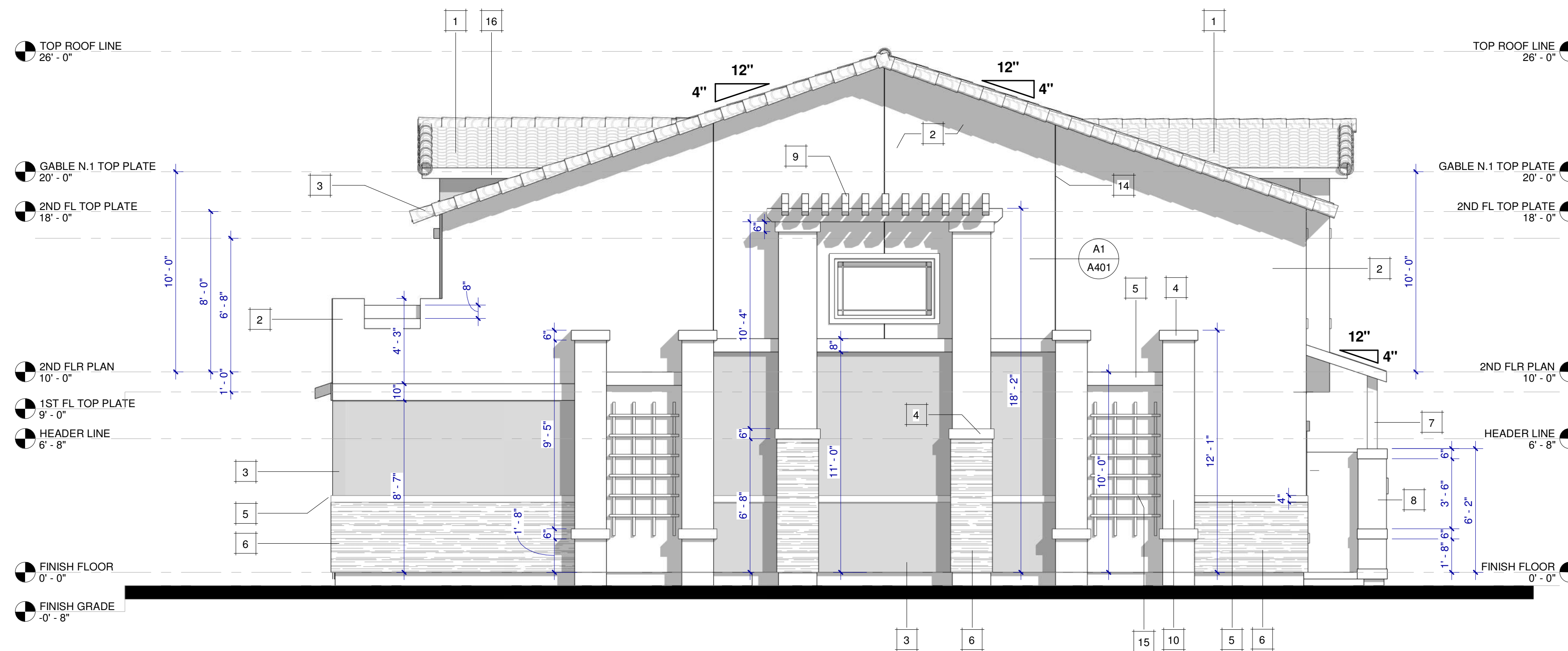
PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
**15380 WANAUKE RD
APPLE VALLEY, CA 92307**

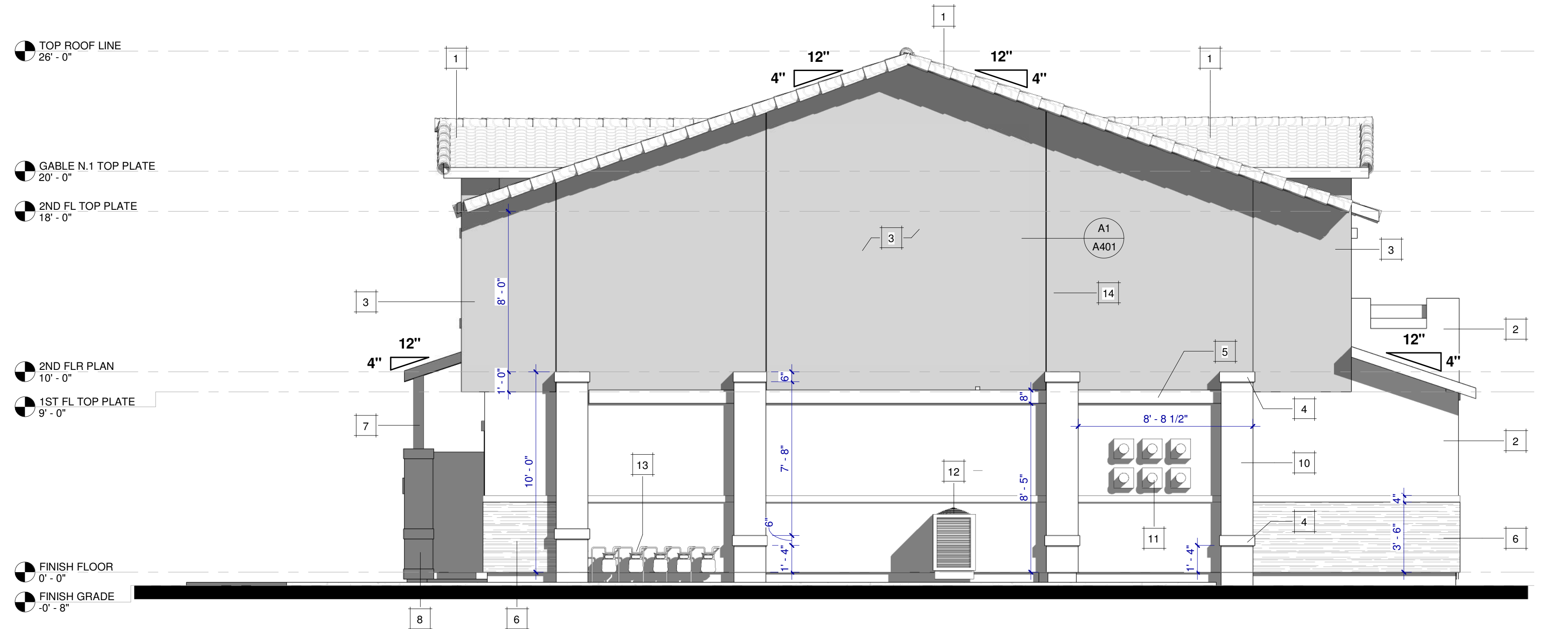
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JOB NO.: 42-23

A401

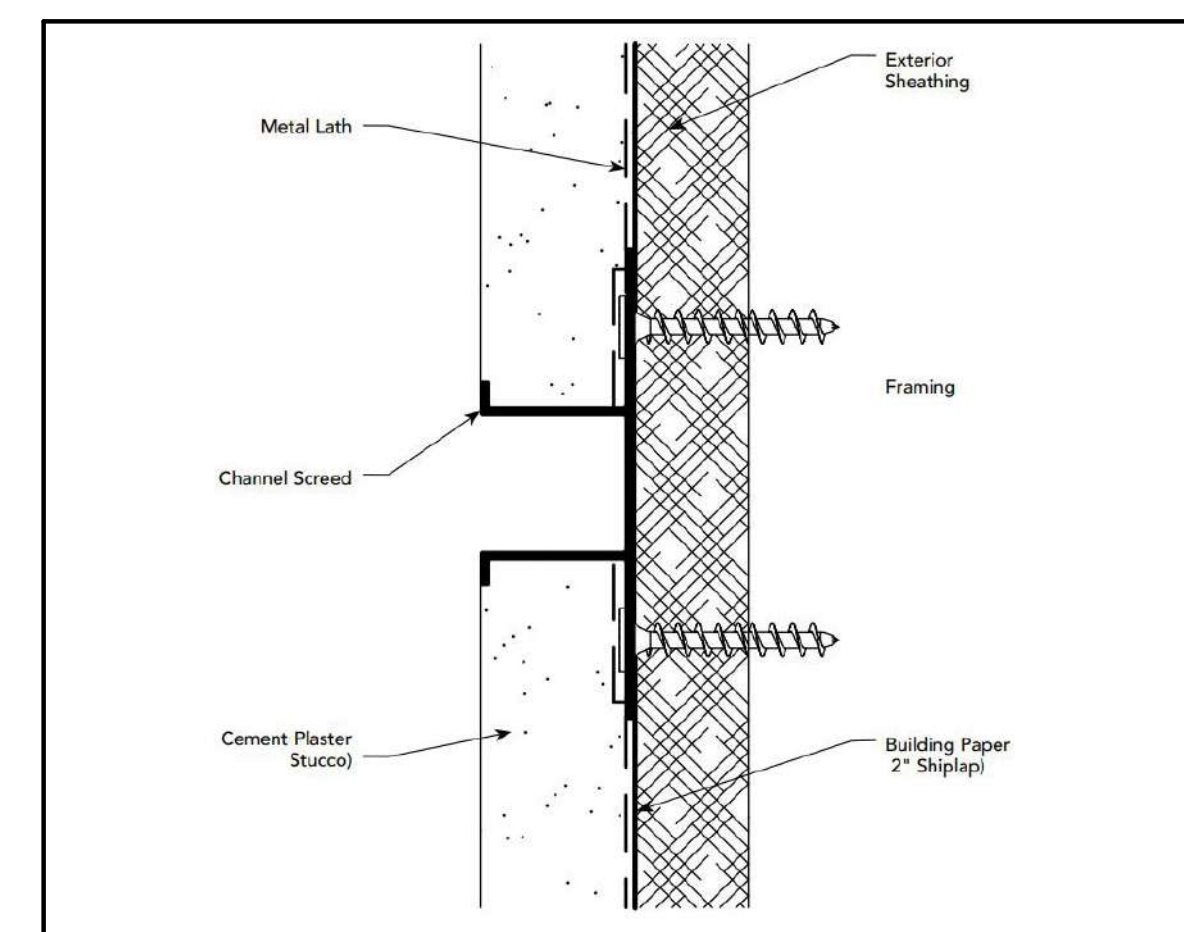


1 EAST - ELEVATION
1/4" = 1'-0"



2 WEST - ELEVATION
1/4" = 1'-0"

KEYNOTES	
1	EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A' OVER 2-LAYER OF 30 FELT UNDERLAYMENT, UES ER-1900 UPDATED TO 2018 IRC/IBC
2	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS, EGG SHELL 73 (76) BASE 100 COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
3	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PAREX USA COLOR COLLECTION: AGAVE 3041D (17) COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
4	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS FALLBROOK 434 (42) BASE 200 COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
5	DECORATIVE TRIMS, PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B EXTERIOR PAINT
6	EXTERIOR CORONADO STONE ARTISAN LEDGE-CATHEDRAL GREY STONE VENEER FINISH, ICC-ES ESR-2598. SEE PLASTER NOTES ON SHT AD2
7	6X6 WOOD POST, EXPOSED WOOD W/ WOOD STAIN & SEALER AUTOMN BROWN COLOR
8	ARCHITECTURAL COLUMN
9	WOOD RAFTER TAILS, EXPOSED WOOD W/ WOOD STAIN & SEALER AUTOMN BROWN COLOR
10	ARCHITECTURAL PILASTER
11	PROPOSED (1) 600 AMP WITH (4) OF 150 AMP BREAKER FOR EACH. (VERIFY LOCATION W/ S.C.E. SPOT SHALL BE BEFORE CONSTRUCTION
12	CONDENSER UNIT LOCATION OVER CONCRETE PAD
13	PROPOSED GAS METER. VERIFY W/ THE GAS COMPANY FOR FINAL APPROVED LOCATION
14	1"Dx1"W CHANNEL SCREED, CONTROL JOINT
15	DECORATIVE CLASSIC METAL GARDEN OUTDOOR TRELIS, WALL MOUNTED
16	FASCIA AROUND ROOF, PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B EXTERIOR PAINT



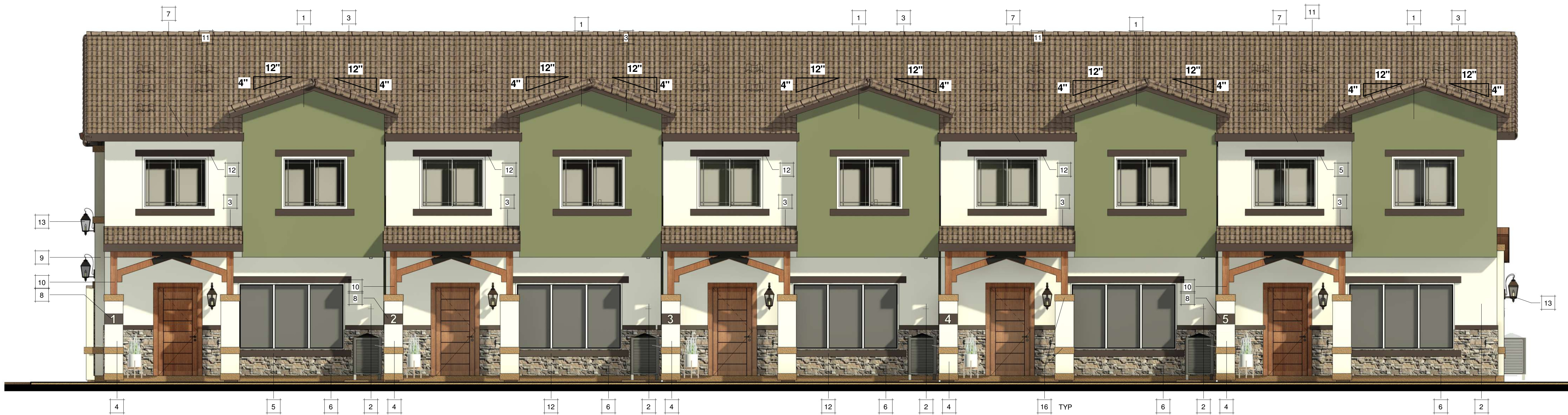
The distance between control joints shall not exceed 18 f.t. in either direction, or a length to width ratio of 2.5:1, per ASTM C1063 and Ch. R703.7 of the 2022 (CRC).

CONTROL JOINT DETAIL

SCALE
N.T.S.

A1

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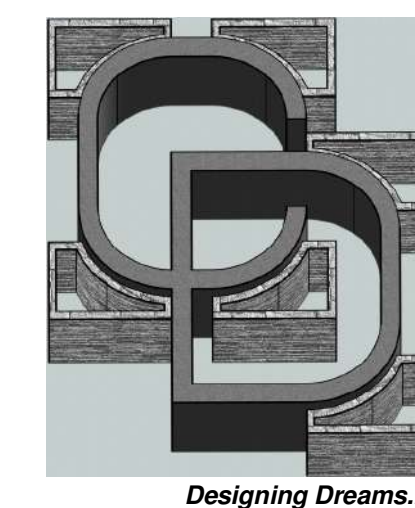
1 NORTH - ELEVATION COLORED
1/4" = 1'-0"

KEYNOTES	
1	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PAREX USA COLOR COLLECTION, AGAVE 3041D (17) COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
2	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS, EGG SHELL 73 (76) BASE 100 COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
3	EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A' OVER 2-LAYER OF 30 FELT UNDERLAYMENT, UES-ER-1900 UPDATED TO 2018 IRC/IBC
4	ARCHITECTURAL COLUMN
5	DECORATIVE TRIMS, PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B EXTERIOR PAINT
6	EXTERIOR CORONADO STONE ARTISAN LEDGE-CATHEDRAL GREY STONE VENEER FINISH, ICC-ES ESR-2598. SEE PLASTER NOTES ON SHT AD2
7	FASCIA AROUND ROOF, PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B EXTERIOR PAINT
8	APARTMENT ADDRESS NUMBER THAT ARE MINIMUM OF FOUR (4) INCHES IN HEIGHT AND WITH A ONE HALF (1/2")
9	ARCHITECTURAL PILASTER
10	6X6 WOOD POST, EXPOSED WOOD W/ WOOD STAIN & SEALER AUTOMN BROWN COLOR
11	OHAGIN VENTS
12	DECORATIVE STUCCO TRIM
13	OUTDOOR WALL MOUNTED LIGHT FIXTURE SEE SHT A-103 FOR SPEC #1
14	SOLAR PANEL (TYP). PER SEPARATE PERMIT
15	PROPOSED GARAGE DOOR WITH INSULATED CLEAR GLASS WINDOWS, PREMIUM L200 COLONIAL, WALNUT COLOR.
16	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS FALLBROOK 434 (42) BASE 200 COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375



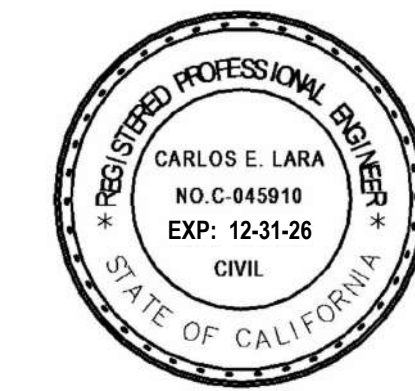
2 SOUTH - ELEVATION COLORED
1/4" = 1'-0"

PRINCIPAL DESIGNER:



Carrillo Design & Assoc. Inc.
1881 Commercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
E: carrillogdesigninc@gmail.com

PLANS PREPARED UNDER THE
DIRECTION OF:
CARLOS E. LARA, P.E.
R.C.E. # 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
(909) 471-6174

REVISIONS	REV. #	DATE	BY
	<<<		

PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
**15380 WANAQUE RD
APPLE VALLEY, CA 92307**

SHEET TITLE
**COLOR
ELEVATIONS**

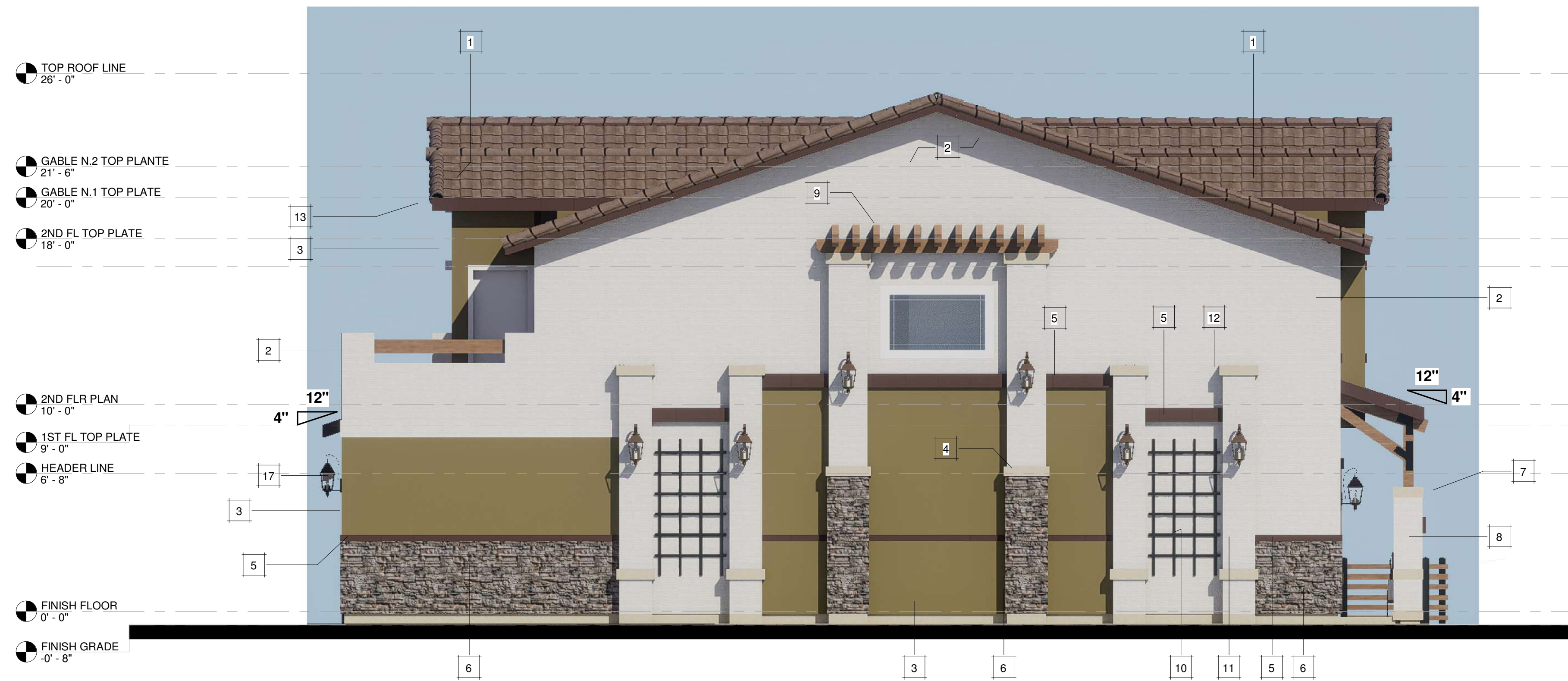
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SCALE: 1/4" = 1'-0"
JOB NO.: 42-23

A402

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. THESE DRAWINGS AND YOURS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.

PINKY'S APARTMENTS

NEW APARTMENT COMPLEX (5-UNITS)



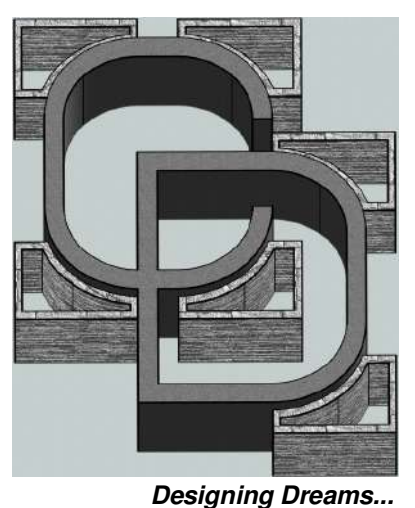
1 EAST - ELEVATION COLORED
1/4" = 1'-0"



2 WEST - ELEVATION COLORED
1/4" = 1'-0"

KEYNOTES	
1	EAGLE ROOF TILE CAPISTRANO S-PROFILES 900 LBS PER 100 SF CLASS 'A' OVER 2-LAYER OF 30 FELT UNDERLAYMENT, UES ER-1900 UPDATED TO 2018 IRC/IBC
2	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS, EGG SHELL 73 (76) BASE 100 COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
3	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PAREX USA COLOR COLLECTION, AGAVE 3041D (17) COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
4	DECORATIVE STUCCO TRIM
5	DECORATIVE TRIMS, PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B EXTERIOR PAINT
6	EXTERIOR CORONADO STONE ARTISAN LEDGE-CATHEDRAL GREY STONE VENEER FINISH, ICC-ES ESR-2598. SEE PLASTER NOTES ON SHT AD2
7	6X6 WOOD POST, EXPOSED WOOD W/ WOOD STAIN & SEALER AUTOMN BROWN COLOR
8	ARCHITECTURAL COLUMN
9	PROPOSED GARAGE DOOR WITH INSULATED CLEAR GLASS WINDOWS, PREMIUM L200 COLONIAL, WALNUT COLOR.
10	DECORATIVE CLASSIC METAL GARDEN OUTDOOR TRELLIS, WALL MOUNTED
11	ARCHITECTURAL PILASTER
12	EXT. 7/8" STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS FALLBROOK 434 (42) BASE 200 COLOR. OVER GRADE 'D' PAPER ICC-ER ESR-2375
13	FASCIA AROUND ROOF, PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B EXTERIOR PAINT
14	PROVIDE 200 AMP ELECTRICAL METER FOR EACH UNIT
15	CONDENSER UNIT LOCATION OVER CONCRETE PAD
16	PROPOSED GAS METER. VERIFY W/ THE GAS COMPANY FOR FINAL APPROVED LOCATION
17	OUTDOOR WALL MOUNTED LIGHT FIXTURE SEE SHT A-103 FOR SPEC #1

PRINCIPAL DESIGNER:



Carrillo Design & Assoc. Inc.
1881 Commercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
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PLANS PREPARED UNDER THE DIRECTION OF:
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R.C.E.# 045910 EXP: 12/31/26



CONTACT INFORMATION

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(909) 471-6174

REVISIONS	REV. #	DATE	BY
	<<<		

PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
**15380 WANAUKE RD
APPLE VALLEY, CA 92307**

SHEET TITLE
COLOR ELEVATIONS

DATE: 5/28/2026 3:40:18 PM
DRAWN: AA
SCALE: 1/4" = 1'-0"
JOB NO.: 42-23

A403

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.



MATERIAL SAMPLE BOARD

KEY NOTE	DESCRIPTION, TYPE, COLOR & MATERIAL SPECIFICATIONS	SAMPLE	KEY NOTE	DESCRIPTION, TYPE, COLOR & MATERIAL SPECIFICATIONS	SAMPLE
1	EXTERIOR 7/8 STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS EGG SHELL 73 (76) BASE 100 COLOR. OVER 2-LAYER WEATHER RESISTIVE BARRIER GRADE 'D', ICC-ES ESR-2375		7	PROPOSED SOLID CORE SWING DOOR WOODEN EXTERIOR DOOR, DARK BROWN COLOR	
2	EXTERIOR 7/8 STUCCO PLASTER (3-COATS); LAHABRA PAREX USA COLOR COLLECTION, AGAVE 3041D (17) COLOR. OVER 2-LAYER WEATHER RESISTIVE BARRIER GRADE 'D', ICC-ES ESR-2375		8	PROPOSED CORONADO STONE ARTISAN LEDGE-CATHEDRAL GREY STONE VENEER FINISH OR SIM.	
3	1IN x 6IN SPF S1S2E WHITE PRIME SELECT FASCIA BOARD PAINTED W/ BEHR NEUTRALS, WILD TRUFFLE HDC-NT-27B, EXTERIOR PAINT		9	PROPOSED HOFT BLACK ALUMINUM RAILING END POST AND HARDWARE - KIT A4 W/ 5/4 IN WOOD AND 1 IN COMPOSITE DECK BOARDS	
4	PROPOSED JELD-WEN FIXED PICTURE VINYL WINDOW/DOOR COLOR: WHITE		10	DUSK TO DAWN OUTDOOR WALL LIGHTS, EXTERIOR FRONT PORCH LIGHTS, HAWAII MONTPELIER, OIL RUBBED BRONZE HARDWIRED 12.4 IN. WALL MOUN LANTERN SCENCE.	
5	EAGLE ROOF TILE CAPISTRANO S-PROFILES HUES OF DARK BROWN, BLACK STREAKS 900 LBS PER 100 SF CLASS 'A' OVER 2-LAYER OF 30 FELT UNDERLAYMENT, UES ER-1900 UPDATED TO 2018 IRC/IBC.		11	EXPOSED WOOD; POSTS, BEAMS, HEADERS, CORBELS, RAFTER TAILS, PLANKS, ETC. SHALL HAVE WOOD STAIN & SEALER AUTUMN BROWN COLOR. AND, PROPOSED HARDWARE SHALL BE BLACK COLOR.	
6	EXTERIOR 7/8 STUCCO PLASTER (3-COATS); LAHABRA PLATINUM PLUS FALLBROOK 434 (42) BASE 200 COLOR. OVER 2-LAYER WEATHER RESISTIVE BARRIER GRADE 'D', ICC-ES ESR-2375				

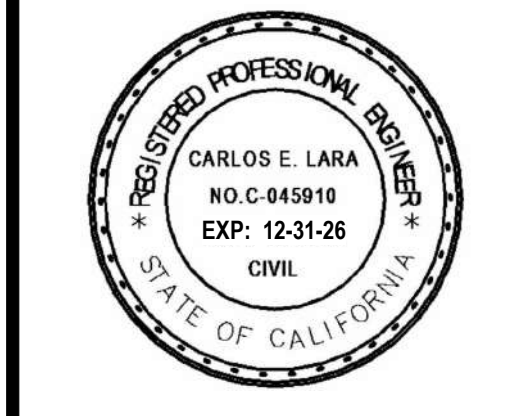
NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. THESE DRAWINGS AND LAYOUTS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.

PRINCIPAL DESIGNER:

Designing Dreams...

Carrillo Design & Assoc. Inc.
1881 Commercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
E: carrillobdesigninc@gmail.com

PLANS PREPARED UNDER THE DIRECTION OF:
CARLOS E. LARA, P.E.
R.C.E. # 045910 EXP: 12/31/26



CONTACT INFORMATION

RAUL REYES
(909) 471-6174

REVISIONS	REV. #	DATE	BY

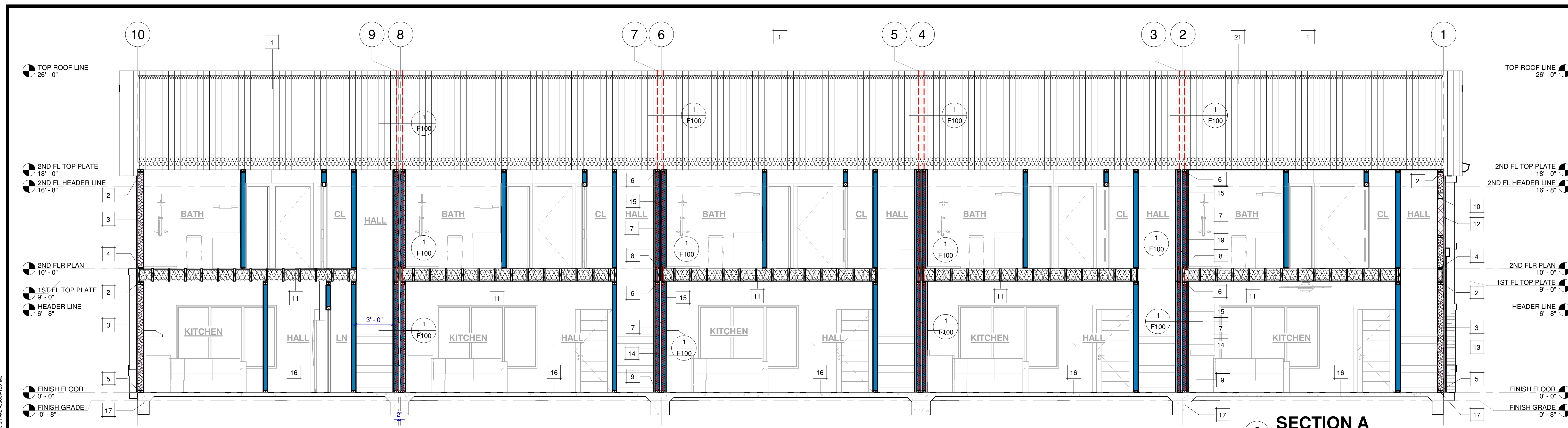
PROJECT TITLE
APARTMENT COMPLEX

PROJECT LOCATION
15380 WANAQUE RD
APPLE VALLEY, CA 92307

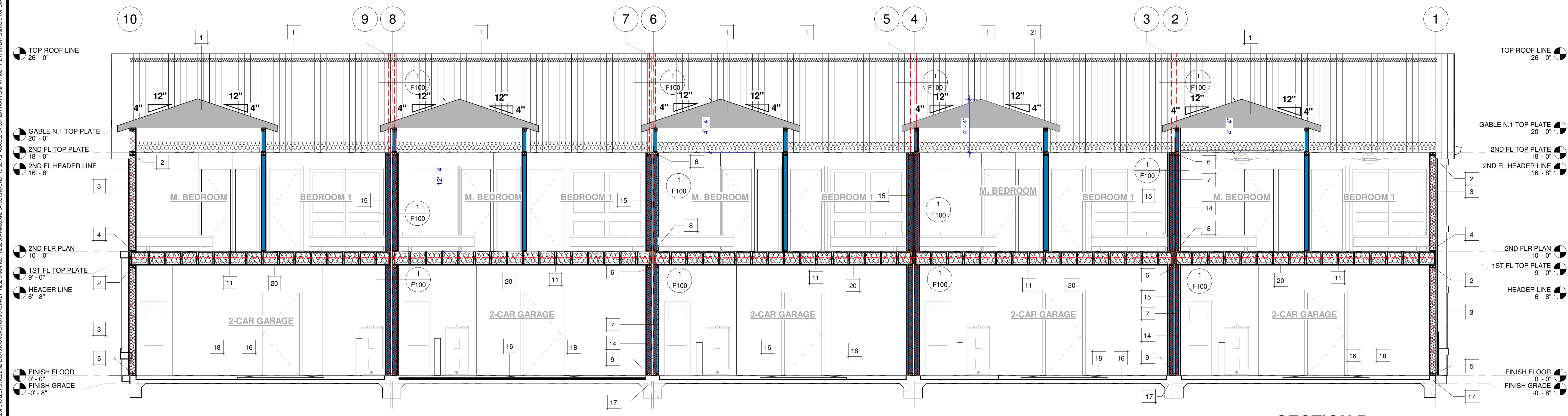
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A404



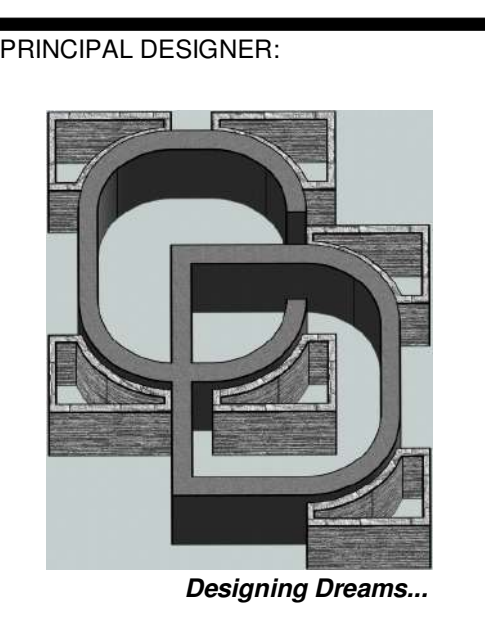
A SECTION A
1/4" = 1'-0"



B SECTION B
1/4" = 1'-0"

KEYNOTES	
1	ROOF TRUSSES PER MANUF. SPEC
2	2x6 DOUBLE TOP PLATE
3	2x6 WALL STUDS @ 16" O.C.
4	2x6 BOTTOM PLATE U.N.O.
5	2x6 P.T. BOTTOM PLATE U.N.O.
6	2x4 DOUBLE TOP PLATE
7	2x4 WALL STUDS @ 16" O.C.
8	2x4 BOTTOM PLATE U.N.O.
9	2x4 P.T. BOTTOM PLATE U.N.O.
10	HEADER PER PLAN
11	2x FLOOR JOIST @ 16" O.C.
12	WINDOW
13	R-21 WALL INSULATION
14	SAFE 'n' SOUND 3 IN. SOUNDPROOFING AND FIRE RESISTANT STONE WOOL INSULATION BATT
15	PROVIDE 2-HOUR FIRE RESISTIVE CONSTRUCTION. USE TWO LAYERS 5/8" TYPE 'X' GYP. BOARD BETWEEN DWELLINGS
16	CONCRETE SLAB
17	CONCRETE FOOTING
18	CONCRETE GARAGE CURB
19	R-15 WALL INSULATION
20	PROVIDE 1-HOUR FIRE RESISTIVE CONSTRUCTION. USE EACH SIDE 5/8" TYPE 'X' GYP. BOARD BETWEEN GARAGE, DWELLING & CEILING ABOVE
21	R-13 ROOF INSULATION PER T24

NOTICE: WRITTEN DIMENSIONS OF THESE DRAWINGS TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS SHOWN IN THESE DRAWINGS. THESE DRAWINGS AND CONDITIONS ARE NOT TO BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CARRILLO DESIGN AND ASSOCIATES, INC.



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1881 Commercenter Dr E
Suite 206
San Bernardino, CA 92408
P: (909) 571-5771
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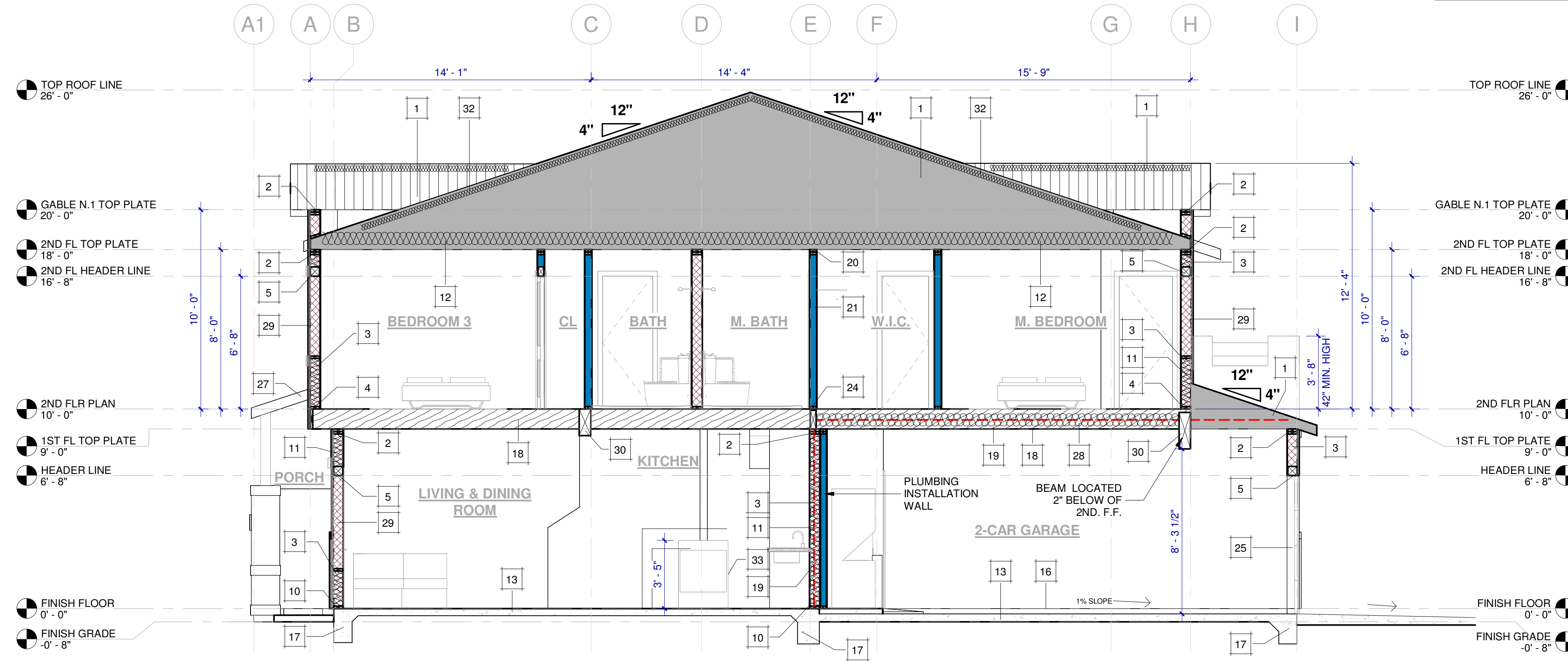
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JOB NO.: 42-23

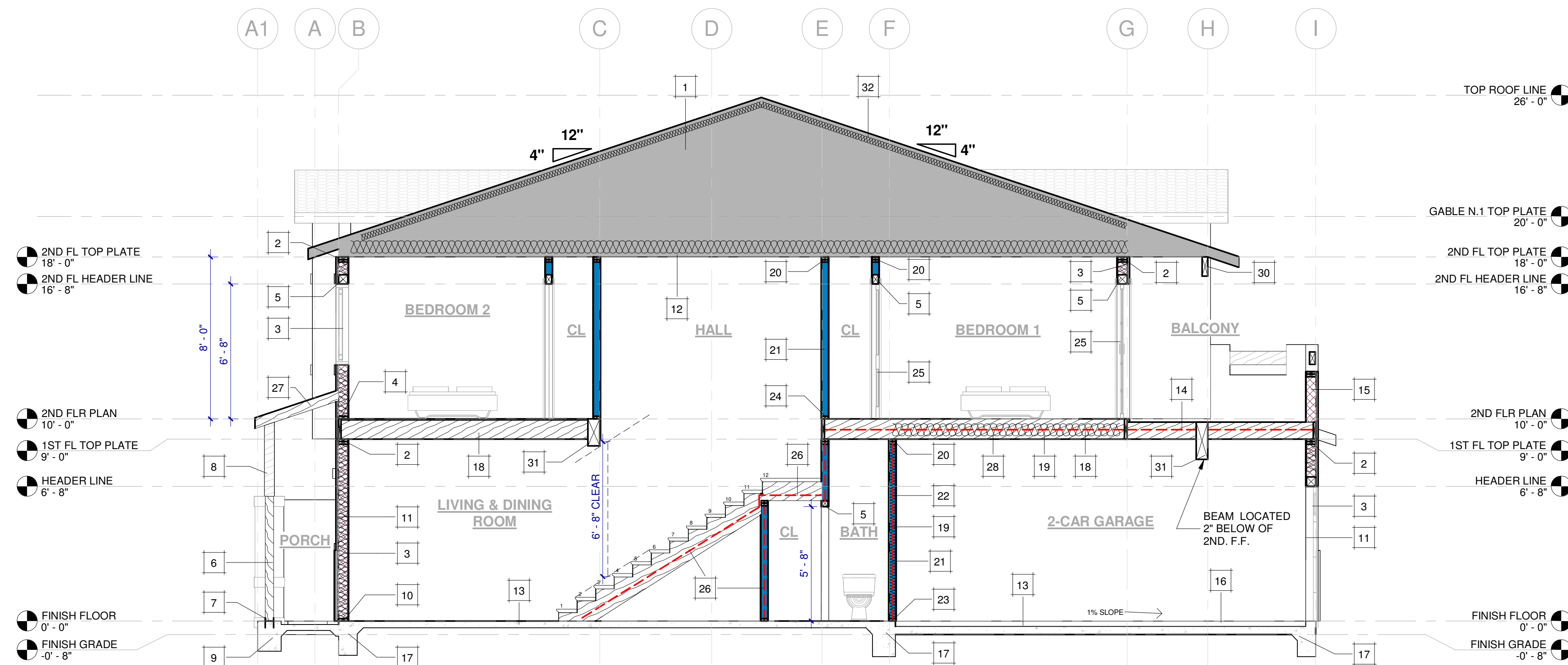
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PINKY'S APARTMENTS

NEW APARTMENT COMPLEX (5-UNITS)



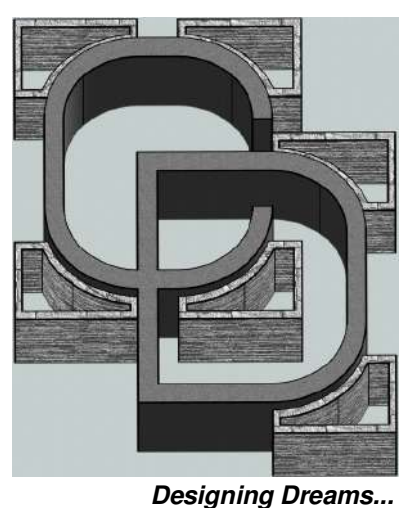
C SECTION C
1/4" = 1'-0"



D SECTION D
1/4" = 1'-0"

KEYNOTES	
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2	2x6 DOUBLE TOP PLATE
3	2x6 WALL STUDS @ 16" O.C.
4	2x6 BOTTOM PLATE U.N.O.
5	HEADER PER PLAN
6	POST PER PLAN
7	COLUMN BASE
8	6x6 WOOD POST, EXPOSED WOOD W/ WOOD STAIN & SEALER AUTOMN BROWN COLOR
9	CONCRETE PAD
10	2x6 P.T. BOTTOM PLATE U.N.O.
11	R-21 WALL INSULATION
12	R-30 ROOF INSULATION
13	CONCRETE SLAB
14	2x DECK JOIST @ 16" O.C.
15	2x PARAPET 4 FT HIGH
16	CONCRETE GARAGE CURB
17	CONCRETE FOOTING
18	2x FLOOR JOIST @ 16" O.C.
19	PROVIDE 1-HOUR FIRE RESISTIVE CONSTRUCTION, USE EACH SIDE 5/8" TYPE 'X' GYP. BOARD BETWEEN GARAGE, DWELLING & CEILING ABOVE
20	2x4 DOUBLE TOP PLATE
21	2x4 WALL STUDS @ 16" O.C.
22	R-15 WALL INSULATION
23	2x4 P.T. BOTTOM PLATE U.N.O.
24	2x4 BOTTOM PLATE U.N.O.
25	DOOR
26	PROVIDE 1-HOUR FIRE RESISTIVE CONSTRUCTION, USE EACH SIDE 5/8" TYPE 'X' GYP. BOARD UNDER STAIRS
27	2x ROOF RAFTER PER PLAN
28	R-30 FLOOR INSULATION
29	WINDOW
30	BEAM PER PLAN
31	PARALLAM BEAM PER PLAN
32	R-13 ROOF INSULATION PER T24
33	PROPOSED RANGE W/ HOOD ABOVE W/ 250 CFM MIN. USE LG OVER THE RANGE MICROWAVE OVEN, MODEL: LHM1764ST OR SIM. SEE SPECS #3 ON SHT GN-2

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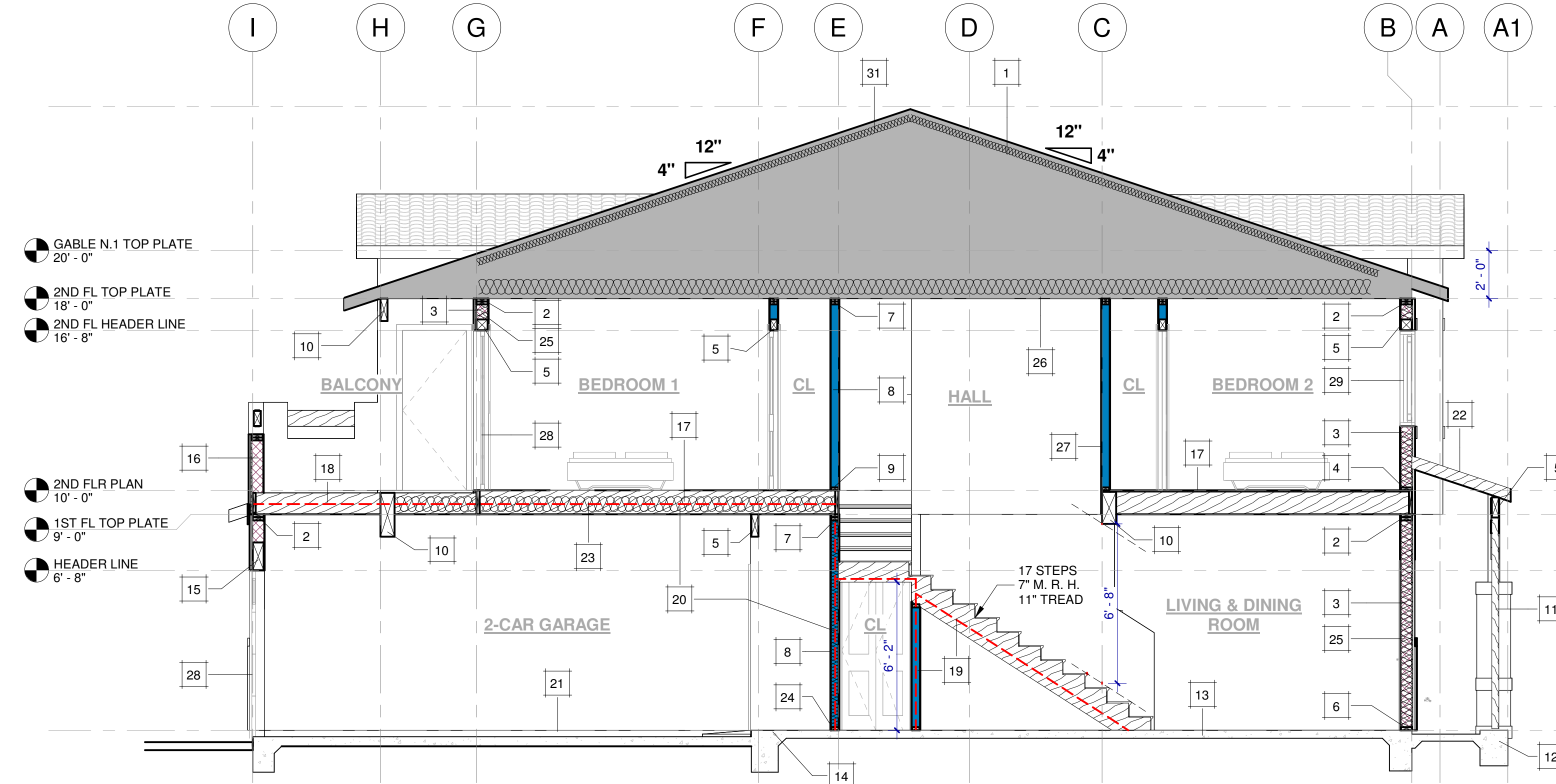
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JOB NO.: 42-23

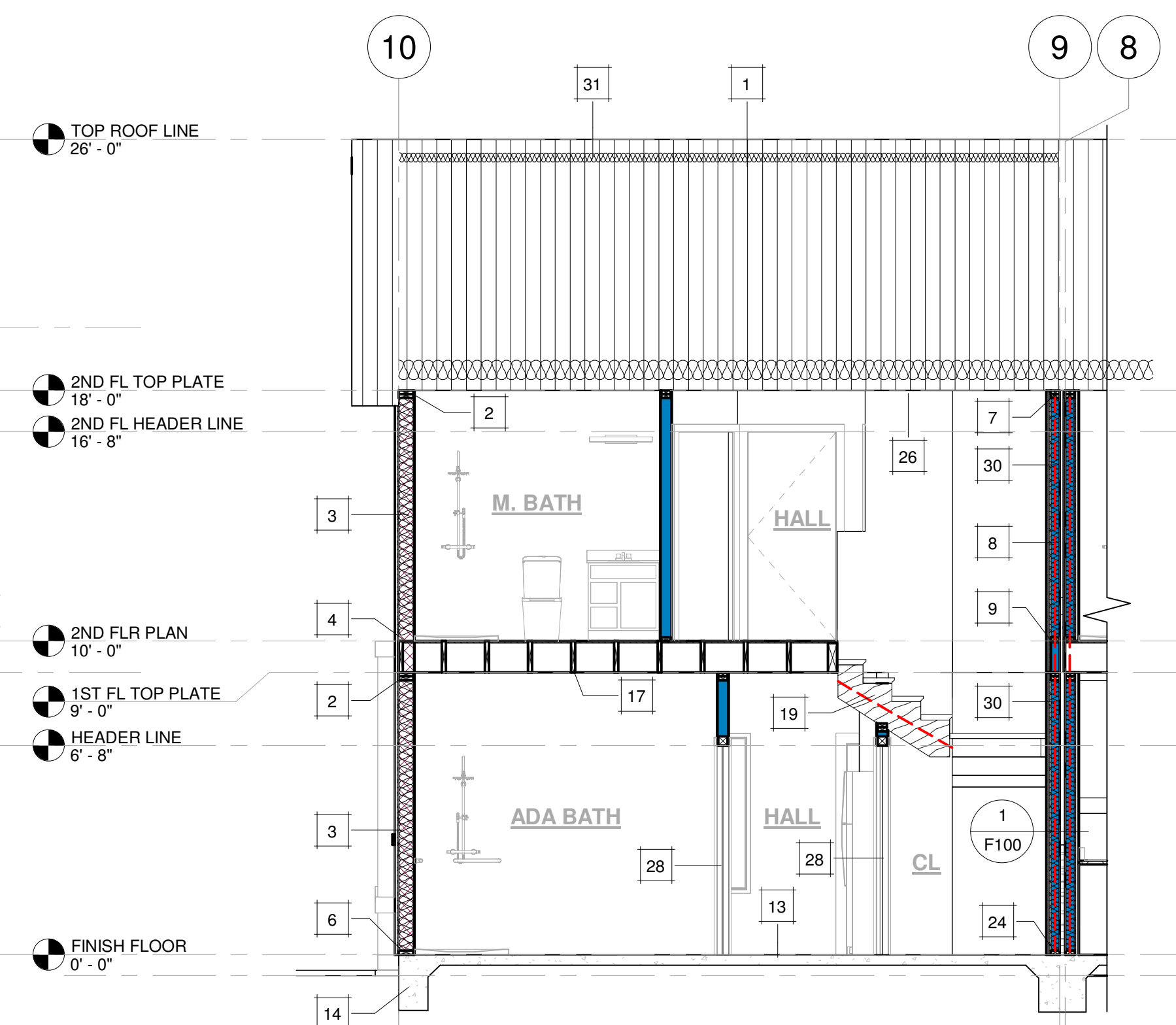
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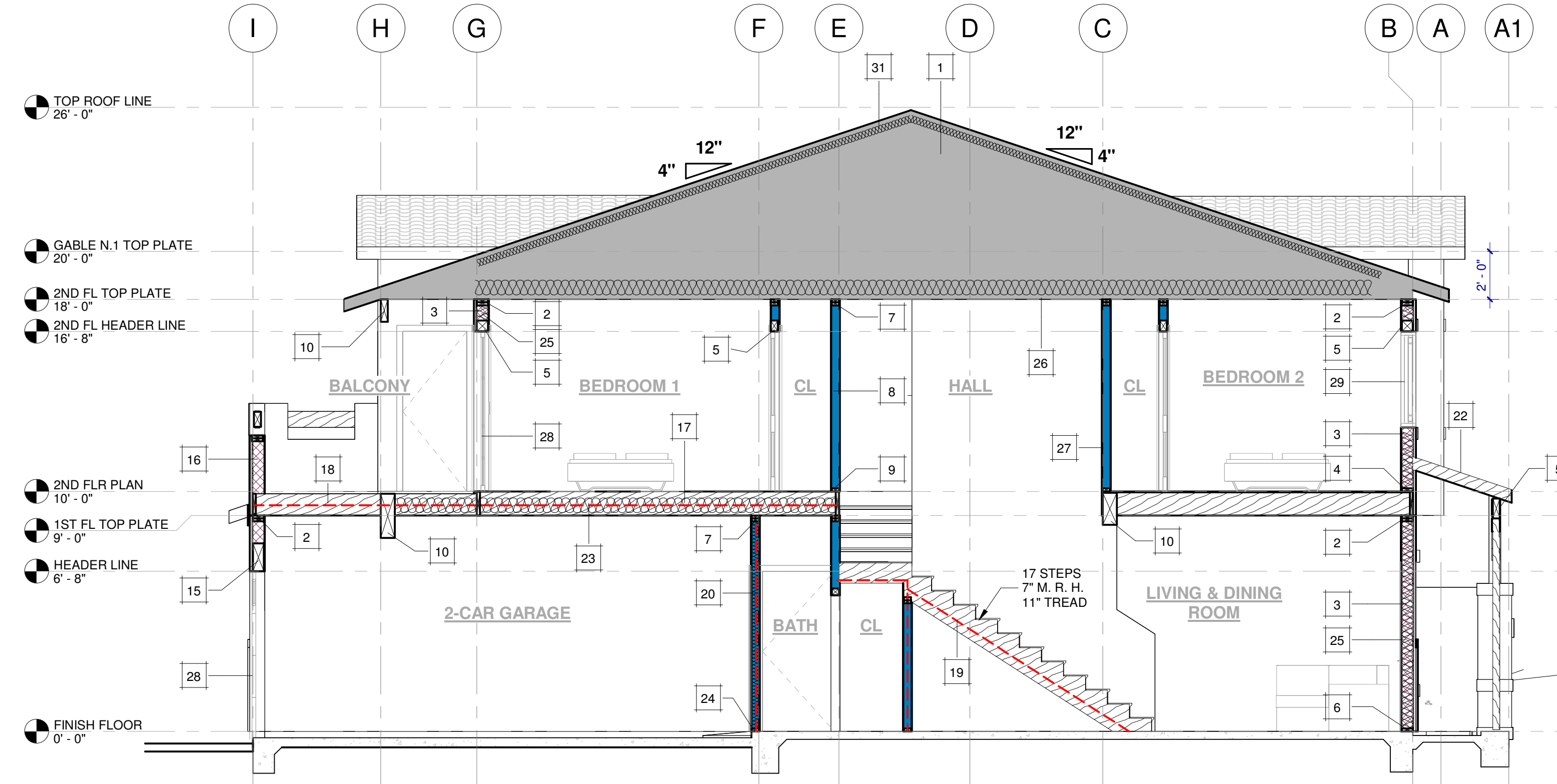
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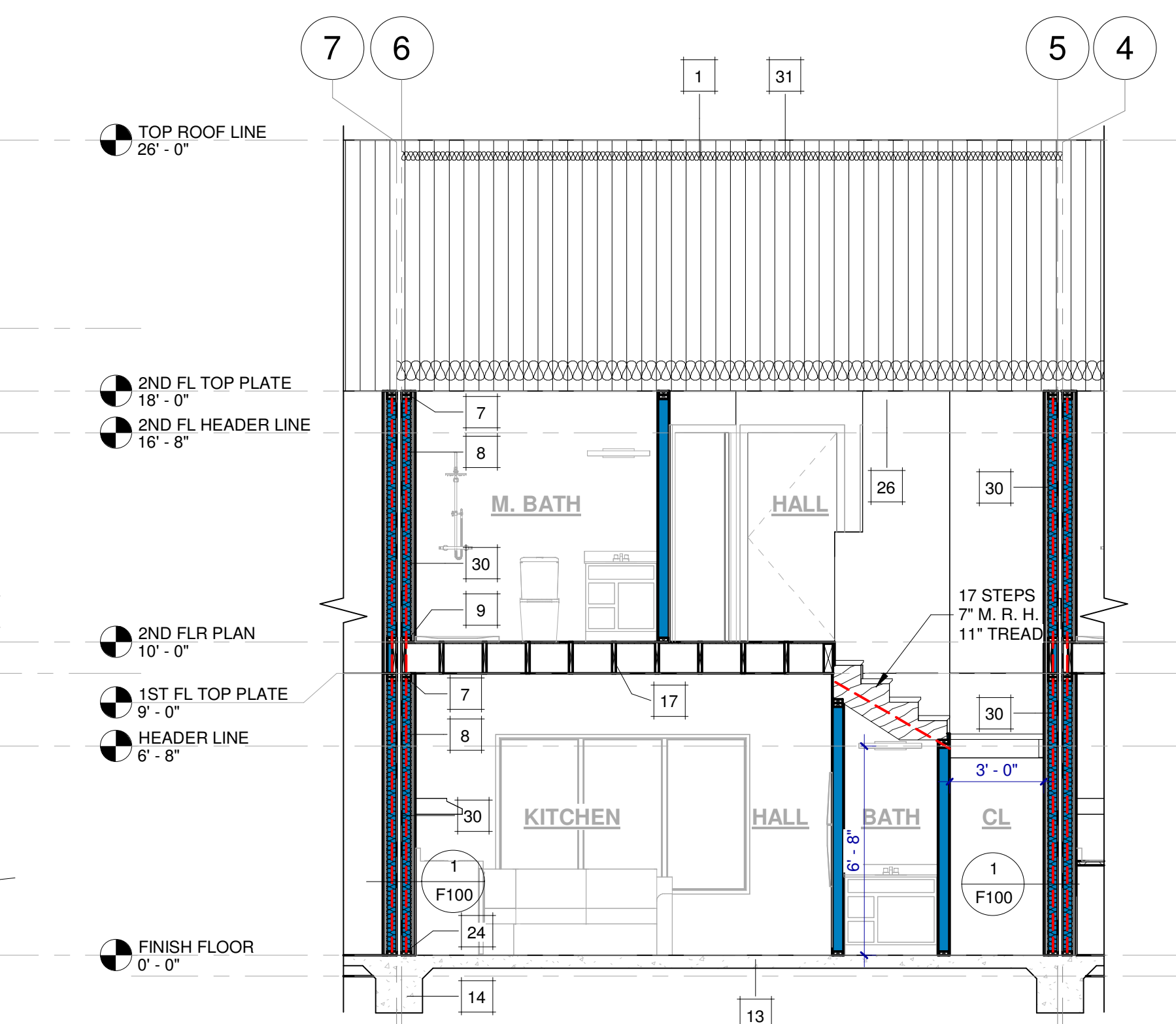
E SECTION E - ADA APRT.
1/4" = 1'-0"



F SECTION F - ADA APRT.
1/4" = 1'-0"

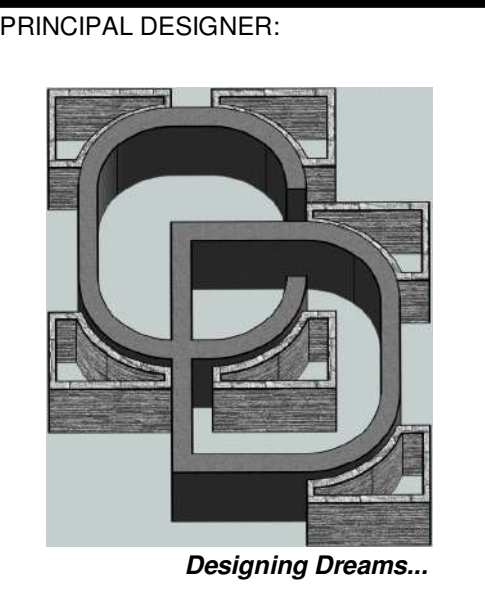


G SECTION G
1/4" = 1'-0"



H SECTION H
1/4" = 1'-0"

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3	2x6 WALL STUDS @ 16" O.C.
4	2x6 BOTTOM PLATE U.N.O.
5	HEADER PER PLAN
6	2x6 P.T. BOTTOM PLATE U.N.O.
7	2x4 DOUBLE TOP PLATE
8	2x4 WALL STUDS @ 16" O.C.
9	2x4 BOTTOM PLATE U.N.O.
10	PARALLAM BEAM PER PLAN
11	POST PER PLAN
12	CONCRETE PAD
13	CONCRETE SLAB
14	CONCRETE FOOTING
15	BEAM PER PLAN
16	2x PARAPET FT HIGH
17	2x FLOOR JOIST @ 16" O.C.
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26	R-30 ROOF INSULATION
27	R-15 WALL INSULATION
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29	WINDOW
30	SAFE 1" SOUND 3 IN. SOUNDPROOFING AND FIRE RESISTANT STONE WOOL INSULATION BATT
31	R-13 ROOF INSULATION PER T24



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A502